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FOWLER

YOUR HOME.
OUR PASSION.

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

JOB NO:

25-1048

SITE ADDRESS:

LOT: 18

DP: 19247

91 WINDSOR ROAD

PADSTOW

NSW 2211

PROPOSED:

NEW TWO STOREY DWELLING

DESIGN NAME:

BROOKLY 37 - DISPLAY

FACADE NAME:

ESPLANADE (NO BALCONY)

PACKAGE:

PRESTIGE

REVISION:

B-2

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03.07.26	B-2	AHP	OUTDOOR RETREAT WINDOW LOWERED AS PER CLIENT'S REQUEST
29.06.26	B-1	DOMENIC	LODGEMENT PLANS
DATE	REV	DRAWN BY	DESCRIPTION

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Multi Dwelling

Certificate number: 162647M_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Wednesday, 20 May 2026
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NalHERS certificate 0012730140.

Project summary			
Project name	Hoang 25-1048_04		
Street address	91 WINDSOR ROAD PADSTOW 2211		
Local Government Area	CANTERBURY-BANKSTOWN		
Plan type and plan number	Deposited Plan 19247		
Lot No.	16		
Section no.	-		
No. of residential flat buildings	0		
Residential flat buildings, no. of dwellings	0		
Multi-dwelling housing, no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	42	Target	40
Thermal Performance (Simulation method)	Pass	Target	Pass
Energy	90	Target	72
Materials	>71	Target	n/a

Certificate Prepared by

Name / Company Name: FTVS BUILDINGS CONSULTANCY PTY LTD
ABN (if applicable): 6463141853

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table.	✓	✓	✓
(c) If a rating is specified in the table below for a feature or appliance to be installed in the dwelling, the applicant must ensure that each such feature and appliance meets the rating specified for it.	✓	✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.	✓	✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.	✓	✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	✓
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).	✓	✓	✓
(h) The pool or spa must be located as specified in the table.	✓	✓	✓
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

(ii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.	✓	✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (ab) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the location of ceiling fans set out in the Assessor Certificate.	✓		

Thermal loads			
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)	Area adjusted total load (in MJ/m ² /yr)
GF	4.7	14.1	20,800
All other dwellings	19.5	9.3	29,800

Construction of floors and walls				
Dwelling no.	Concrete slab on ground (m ²)	Suspended floor with open subfloor (m ²)	Suspended floor above enclosed subfloor (m ²)	Suspended floor above garage (m ²)
GF	55.5	-	-	-
All other dwellings	53	103.9	-	19.3

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Floor types		Concrete slab on ground		Suspended floor above enclosed subfloor		Suspended floor above open subfloor	
Dwelling no.	Area (m ²)	Insulation	Low emissions option	Construction type	Area (m ²)	Insulation	Construction type
GF	55.5	-	-	verfite pool slab	-	-	-
All other dwellings	53	-	-	conventional slab	-	-	-

Floor types		First floor above habitable rooms or mezzanine		Suspended floor above garage		Garage floor	
Dwelling no.	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Low emissions option
GF	-	-	-	-	0	-	-
All other dwellings	concrete - suspended, frame: timber + H2 treated subfloor	110.1	-	concrete - suspended, frame: timber + H2 treated subfloor	19.3	fibreglass batts or roll	concrete slab on ground

External walls								
External wall type 1					External wall type 2			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option
GF	brick veneer, frame: timber + H2 treated subfloor	60.7	fibreglass batts or roll	-	-	-	-	-
All other dwellings	brick veneer, frame: timber + H2 treated subfloor	196.3	fibreglass batts or roll	none	framed (fibre cement sheet or boards), frame: -	29.2	fibreglass batts or roll	none

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External walls								
External wall type 1					External wall type 2			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option
					timber + H2 treated subfloor			
External walls								
External wall type 3					External wall type 4			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option
All dwellings	-	-	-	-	-	-	-	-

Internal walls									
Internal walls shared with garage				Internal wall type 1		Internal wall type 2			
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation
GF	-	-	-	plasterboard, frame: timber + H2 treated subfloor	34.2	-	-	-	-
All other dwellings	plasterboard, frame: timber + H2 treated subfloor	26.35	fibreglass batts or roll	plasterboard, frame: timber + H2 treated subfloor	177.9	-	plasterboard, frame: timber + H2 treated subfloor	49.2	fibreglass batts or roll

Ceiling and roof		Flat ceiling / pitched roof		Raked ceiling / pitched or skillion roof		Flat ceiling / flat roof	
Dwelling no.	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Construction type
GF	framed - metal roof, frame: timber + H2 treated subfloor	74.31	Ceiling: fibreglass batts or roll/ Roof: foil backed blanket	-	Ceiling: Roof: -	-	-
All other dwellings	21	26.2	-	47.2	-	-	-

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Ceiling and roof		Flat ceiling / pitched roof		Raked ceiling / pitched or skillion roof		Flat ceiling / flat roof	
Dwelling no.	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Construction type
GF	-	-	-	-	-	-	-
All other dwellings	276.33	-	-	-	-	-	-

Glazing type		Frame types	
Dwelling no.	Single glazing (m ²)	Double glazing (m ²)	Triple glazing (m ²)
GF	13.4	-	13.4
All other dwellings	21	26.2	47.2

2. Commitments for single dwelling houses

(a) Dwellings	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(i) Water			
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table.	✓	✓	✓
(c) If a rating is specified in the table below for a feature or appliance to be installed in the dwelling, the applicant must ensure that each such feature and appliance meets the rating specified for it.	✓	✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.	✓	✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.	✓	✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	✓
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).	✓	✓	✓
(h) The pool or spa must be located as specified in the table.	✓	✓	✓
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

(a) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.	✓	✓	✓

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(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must install the cooling and heating systems specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "Zone" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
(b) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.	✓	✓	✓
(c) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.	✓	✓	✓
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.	✓	✓	✓

(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".	✓	✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓
(ii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.	✓	✓	✓

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Description of project		Common area landscape	
Project address	Hoang 25-1048_04	Common area lawn (m ²)	0
Project name	91 WINDSOR ROAD PADSTOW 2211	Common area garden (m ²)	0
Street address	CANTERBURY-BANKSTOWN	Area of indigenous or low water use species (m ²)	0
Local Government Area	Deposited Plan 19247	Assessor details and thermal loads	
Plan type and plan number	Deposited Plan 19247	Assessor number	DNN121441
Lot No.	16	Certificate number	0012730140
Section no.	-	Climate zone	5b
Project type		Project score	
No. of residential flat buildings	0	Water	42
Residential flat buildings, no. of dwellings	0	Thermal Performance (Simulation method)	Pass
Multi-dwelling housing, no. of dwellings	2	Energy	90
No. of single dwelling houses	0	Materials	>71
Site details		Target	40
Site area (m ²)	817.5	Target	Pass
Roof area (m ²)	530.64	Target	72
Non-residential floor area (m ²)	2	Target	n/a
Residential car spaces	0		
Non-residential car spaces	-		

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Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of floor spaces	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & terrace (m²)	Indigenous Apertures (m² or area m²)
GF	2	50.2	4.3	0	0

Dwelling no.	No. of floor spaces	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & terrace (m²)	Indigenous Apertures (m² or area m²)
1M	4	258.1	28.2	213.75	0

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Schedule of BASIX commitments		Cooling		Heating		Natural lighting	
Dwelling no.	Living areas	Bedroom areas	Living areas	Bedroom areas	No. of bathrooms or toilets	Main kitchen	
GF	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	1	yes	
All other dwellings	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	4	yes	

Individual pool		Individual spa		Appliances other efficiency measures	
Dwelling no.	Pool heating system	Timer	Spa heating system	Kitchen cooktop/oven	Diswasher
GF	-	-	-	-	-
All other dwellings	no heating	not specified	yes	-	-

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Individual pool		Individual spa		Appliances other efficiency measures	
Dwelling no.	Pool heating system	Timer	Spa heating system	Kitchen cooktop/oven	Diswasher
GF	-	-	-	-	-
All other dwellings	no heating	not specified	yes	-	-

Alternative energy		PV System Panel Group 1 (peak kW/Slope/Orientation)		PV System Panel Group 2 (peak kW/Slope/Orientation)	
Dwelling no.	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)
GF	-	-	-	-	-
All other dwellings	6.6 / between >25° to <=35° degrees to the horizontal / W	-	-	-	-

(ii) Thermal Performance and Materials		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.		✓	✓	✓
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.		✓	✓	✓
(c) The details of the proposed development in the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.		✓	✓	✓

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Ceiling and roof		Flat ceiling / pitched roof			Raked ceiling / pitched or skillion roof			Flat ceiling / flat roof		
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	
All other dwellings	framed - metal roof, frame: timber +H2 treated subfloor	276.33	Ceiling:fibre/glass batts or roll; Roof: foil backed blanket	-	-	Ceiling: Roof: -	-	-	Ceiling: Roof: -	

Gazing type						Frame types		
Dwelling no.	Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
GF	13.4	-	-	13.4	-	-	-	-
All other dwellings	21	26.2	-	47.2	-	-	-	-

[illegible]

Version 2025.0
* Refer to glossary
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

0912709126-05 NatHERS Certificate		7.1 Star Rating as of 20 May 2026					
Room schedule							
Room	Zone	Type	Area (m ²)				
Garage		Garage	31.82				
H.OFFICE/ENTRY	Daytime		25.51				
HOME CINEMA	Daytime		13.01				
STARWELL	Daytime		6.55				
POR	Unconditioned		6.16				
LDRY	Unconditioned		5.96				
BUTLER	Daytime		4.02				
WIP	Daytime		2.99				
Kitchen/Living	Kitchen/Living		45.38				
BATH	Unconditioned		6.38				
ENT WING	Living		30.06				
LEISURE	Living		35.02				
MASTER SUITE	Bedroom		20.94				
ENS	Nighttime		7.1				
HISHR	Nighttime		7.19				
IT NOOK	Daytime		5.58				
WIL	Daytime		2.28				
BATHROOM	Unconditioned		9.82				
BED 2	Bedroom		12.69				
WR BED 2	Nighttime		3.31				
BED 3	Bedroom		12.82				
WR BED 3	Nighttime		2.82				
BED 4	Bedroom		11.84				
BED 5	Bedroom		15.27				
Window and glazed door type and performance							
Default windows*							
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges			
				SHGC lower limit	SHGC upper limit		
No Data Available							

Version: 2025.0
* Refer to glossary.
Generated on: 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH_91 Windsor Road, PADISTOW, NSW, 2211

907276126-05 Mathers Certificate 7.1 Star Rating as of 20 May 2026



Custom windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				BHGC lower limit	BHGC upper limit
TND-002-300	Aluminium Asewing Window DG 4PAAS2/12A-4PA6G	3.0	0.41	0.39	0.43
TND-001-300	Aluminium Sliding Window DG 4PAAS2/12A-4PA6G	3.0	0.42	0.40	0.45
TND-001-001	Aluminium Sliding Window SG 3CF	6.5	0.73	0.70	0.77
TND-003-001	Aluminium Fixed Window DG 5dr/1dr4PAAS2	2.2	0.52	0.49	0.54
TND-017-300	Aluminium Sliding Door DG 4PAAS2-10A-4PA6G	2.6	0.45	0.42	0.47
TND-002-003	Aluminium Asewing Window SG 4EA	5.3	0.48	0.46	0.50
TND-024-013	Aluminium Fixed Window SG 4ET	4.4	0.63	0.59	0.66

Window and glazed door schedule

Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
H-OFFICE/ENTRY	TND-002-300-002	W02	2000	1800	Asewing	90	N	No
HOME CINEMA	TND-001-300-002	W01	600	3000	Sliding	45	W	No
PDR	TND-001-001-001	W03	600	800	Sliding	45	W	No
BUTLER	TND-003-001-001	W05	700	1600	Fixed	00	E	No
Kitchen/Living	TND-003-001-001	W06	700	2700	Fixed	00	E	No
Kitchen/Living	TND-001-300-002	W04	1800	800	Sliding	45	W	No
Kitchen/Living	TND-001-300-002	W05	1800	800	Sliding	45	W	No
BATH	TND-001-001-001	W06	600	800	Sliding	45	W	No
ENT. WING	TND-003-300-003	W07	2000	2300	Sliding	45	S	No
ENT. WING	TND-017-300-004	D1-ENT. WING	2400	2700	Sliding	60	S	No
LEISURE	TND-003-001-001	W10	1200	1200	Fixed	00	E	No
LEISURE	TND-001-300-002	W19	600	2700	Sliding	45	E	No
MASTER SUITE	TND-002-003-001	W12	2000	1800	Asewing	10	N	No
MASTER SUITE	TND-024-013-001	W11	2000	1200	Fixed	00	N	No
ENS	TND-001-001-001	W13	1200	700	Sliding	45	W	No
IT NOOK	TND-001-300-002	W14	1200	800	Sliding	45	W	No
BATHROOM	TND-001-001-001	W15	1200	1600	Sliding	45	W	No

Version 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5 2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

901270126-05 NALHERES Certificate 7.1.51e Rating as of 20 May 2026

Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
BED 2	TND-002-003-001	W16	800	2400	Awning	10	S	No
BED 3	TND-002-003-001	W17	800	2400	Awning	10	S	No
BED 4	TND-002-003-001	W18	600	2400	Awning	10	E	No
BED 5	TND-002-003-001	W21	2000	3000	Awning	10	N	No

Roof window* type and performance value

Default roof windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Custom roof windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Roof window* schedule

Location	Window ID	Window no.	Opening %	Height [mm]	Width [mm]	Orientation	Outdoor shade	Indoor shade
No Data Available								

Skylight* type and performance

Skylight ID	Skylight description	Skylight shaft reflectance
No Data Available		

Skylight* schedule

Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m²]	Orientation	Outdoor shade	Diffuser
No Data Available							

External door schedule

Location	Height [mm]	Width [mm]	Opening %	Orientation
Garage	2400	4810	90	N
H OFFICE/ENTRY	2340	1200	90	N

Version: 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

7.1 Solar Rating as of 20 May 2025						
Location	Height [mm]	Width [mm]	Orientation	Opening %	 Orientation	
LDRY	2340	920		90	W	
BATH	2340	920		90	S	

External wall type

Wall ID	Wall type	Solar absorbance	Wall shade [colour]	Bulk insulation [R-value]	Reflective wall wrap*
EW-1	Timber Stud Frame Brick Veneer	0.50		No insulation	No
EW-2	Single Skin Brick	0.50		No insulation	No
EW-3	Timber Stud Frame Brick Veneer	0.50		Bulk Insulation, Air Gap R2.5	No
EW-4	Fibre Timber Stud Frame Panel Direct Fix	0.50		Bulk Insulation R2.5	No

External wall schedule

Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
Garage	EW-1	2912	1000	S	600	No
Garage	EW-2	2912	5695	N	100	No
Garage	EW-1	2912	5700	E	600	No
H OFFICE/ENTRY	EW-3	2740	3195	W	100	No
H OFFICE/ENTRY	EW-3	2740	2620	N	100	Yes
H OFFICE/ENTRY	EW-3	2740	900	E	2200	No
H OFFICE/ENTRY	EW-3	2740	2100	N	1600	No
H OFFICE/ENTRY	EW-3	2740	600	E	100	No
HOME CINEMA	EW-3	2740	4190	W	100	No
STARWELL	EW-3	2740	2295	E	100	No
PDR	EW-3	2740	2090	W	100	No
LDRY	EW-3	2740	1990	W	100	No
BUTLER	EW-3	2740	1990	E	100	No
Kitchen/Living	EW-3	2740	4390	E	100	No
Kitchen/Living	EW-3	2740	4390	W	100	No
BATH	EW-3	2740	3195	S	5800	No
BATH	EW-3	2740	2095	W	700	No
ENT WING	EW-3	3555	4895	E	600	No

Version 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADISTOW, NSW, 2211

09/072016-05: RATHERS Certificate		7.15 Star Rating as of 20 May 2026				
Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]
ENT. WING	EW-3	3172	2500	S	600	No
ENT. WING	EW-3	3173	3700	S	3000	Yes
ENT. WING	EW-3	3505	2800	W	3900	No
LEISURE	EW-3	2600	5500	E	600	No
MASTER SUITE	EW-3	2600	4700	N	100	Yes
MASTER SUITE	EW-3	2601	800	E	5300	No
MASTER SUITE	EW-3	2600	3750	W	600	No
ENS	EW-3	2600	2200	W	600	No
HISHER	EW-3	2600	1500	W	600	No
IT HOOK	EW-3	2600	1700	W	600	No
BATHROOM	EW-3	2600	3190	W	600	No
BED 2	EW-4	2600	3395	S	600	No
BED 2	EW-3	2600	3695	W	600	No
WR BED 2	EW-4	2600	1360	S	600	No
BED 3	EW-4	2600	3395	S	600	No
BED 3	EW-3	2600	3695	E	600	No
WR BED 3	EW-4	2600	1190	S	600	No
BED 4	EW-3	2600	3190	E	600	No
BED 5	EW-4	2600	4695	N	700	No
BED 5	EW-4	2601	900	E	600	No
BED 5	EW-3	2600	2395	E	600	No

Internal wall type			
Wall ID	Wall type	Area (m²)	Bulk Insulation [R-value]
WJ-001	Timber Stud Frame, Direct Fix Plasterboard	102.02	Bulk Insulation, No Air Gap R2.5
WJ-002	Timber Stud Frame, Direct Fix Plasterboard	225.15	No Insulation

Floor type						
Location	Construction	Area [m²]	Sub-floor ventilation	Insulation [R-value]	Slab edge insulation [R-value]	Covering
Garage	Concrete Slab on Ground 100mm	31.76	None	No Insulation		Bare

Version 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

012/20/1216-05 NAHERS Certificate		7.1 Star Rating as of 20 May 2026				
Location	Construction	Area [m²]	Sub-floor ventilation	Insulation [R-value]	Slab edge insulation [R-value]	Covering
H.OFFICE/ENTR	Concrete Slab on Ground 100mm	25.51	None	No Insulation		Ceramic Tiles 8mm
HOME CINEMA	Concrete Slab on Ground 100mm	13.01	None	No Insulation		Carpet/Rubber Underlay 15mm
STARWELL	Suspended Concrete Slab 150mm	6.55	Very Open	Bulk Insulation in Contact with Floor R2.5		Cork Tiles or Parquetry 8mm
PDR	Suspended Concrete Slab 150mm	6.18	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
LDRY	Suspended Concrete Slab 150mm	5.86	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
BUTLER	Suspended Concrete Slab 150mm	4.02	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
WIP	Suspended Concrete Slab 150mm	2.99	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
Kitchen/Living	Suspended Concrete Slab 150mm	45.38	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
BATH	Suspended Concrete Slab 150mm	6.38	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
ENT. WING	Suspended Concrete Slab 150mm	30.06	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
LEISURE / Garage	30mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	8.41		Bulk Insulation R2.5		Cork Tiles or Parquetry 8mm
LEISURE / H.OFFICE/ENTR	30mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.00		No Insulation		Cork Tiles or Parquetry 8mm
LEISURE / STARWELL	30mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.00		No Insulation		Cork Tiles or Parquetry 8mm
LEISURE / Kitchen/Living	30mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.82		No Insulation		Cork Tiles or Parquetry 8mm
MASTER SUITE / H.OFFICE/ENTR	30mm / Fibre-Reinforced Concrete Timber Frame Above Plasterboard 42mm	17.12		No Insulation		Cork Tiles or Parquetry 8mm
MASTER SUITE / HOME CINEMA	30mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 42mm	1.55		No Insulation		Cork Tiles or Parquetry 8mm

Version: 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

01/27/2015 25:05 NalEn's Certificate		7.1 Star Rating as of 20 May 2016				
Location	Construction	Area [m²]	Sub-floor ventilation	Insulation [R-value]	Slab edge insulation [R-value]	Covering
MASTER SUITE	Suspended 35mm Fibre-Reinforced Concrete Floor Timber Frame 42mm	1.52	Totally Open	Rock Insulation in Contact with Floor R2.5		Cork Tiles or Parquety Elm
ENS / HOME GINEA	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	7.10		No Insulation		Ceramic Tiles 8mm
HISHER / HOFFICECENTRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.07		No Insulation		Cork Tiles or Parquety Elm
HISHER / HOME GINEA	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	3.83		No Insulation		Cork Tiles or Parquety Elm
HISHER / PDR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.63		No Insulation		Cork Tiles or Parquety Elm
IT NOOK / HOFFICECENTRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.36		No Insulation		Cork Tiles or Parquety Elm
IT NOOK / PDR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.86		No Insulation		Cork Tiles or Parquety Elm
WIL / PDR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.26		No Insulation		Cork Tiles or Parquety Elm
WIL / LDRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.72		No Insulation		Cork Tiles or Parquety Elm
WIL / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.39		No Insulation		Cork Tiles or Parquety Elm
BATHROOM / LDRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.72		No Insulation		Ceramic Tiles 8mm
BATHROOM / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.41		No Insulation		Ceramic Tiles 8mm
BED 2 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	10.99		No Insulation		Cork Tiles or Parquety Elm
BED 2 / BATH	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	1.23		No Insulation		Cork Tiles or Parquety Elm
WR BED 2 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.61		No Insulation		Cork Tiles or Parquety Elm
WR BED 2 / ENT WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.51		No Insulation		Cork Tiles or Parquety Elm

Version: 2025.0
 * Refer to glossary.
 Generated on 20 May 2026 using EBS Pro v5.2.6 (3.23) for Unit Mt. 91 Windsor Road, PADSTOW, NSW, 2211

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Location	Construction	Area [m²]	Sub-floor ventilation	Insulation (R-value)	Slab edge insulation (R-value)	Covering
BED 3 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	11.12		No Insulation		Cook Tiles or Parquetry Strm
BED 3 / ENT WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	1.46		No Insulation		Cook Tiles or Parquetry Strm
WR BED 3 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.22		No Insulation		Cook Tiles or Parquetry Strm
WR BED 3 / ENT WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.41		No Insulation		Cook Tiles or Parquetry Strm
BED 4 / BUTLER	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	3.88		No Insulation		Cook Tiles or Parquetry Strm
BED 4 / WIP	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.88		No Insulation		Cook Tiles or Parquetry Strm
BED 4 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.44		No Insulation		Cook Tiles or Parquetry Strm
BED 5 / Garage	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 42mm	11.04		Bulk Insulation R2.5		Cook Tiles or Parquetry Strm
BED 5	Suspended 35mm Fibre-Reinforced Concrete Floor Timber Frame 42mm	3.99	Totally Open	Bulk Insulation in Contact with Floor R2.5		Cook Tiles or Parquetry Strm

Location	Construction material/type	Bulk insulation (R-value) may include edge batt values
Garage	Plasterboard on Timber	No Insulation
Garage	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	Bulk Insulation R2.5
H OF FICE ENTRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
HOME CINEMA	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
STAIRWAY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
PDR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
LDRWY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
BUTLER	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
WIP	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation

Version 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road , PADSTOW, NSW, 2211

01/27/2019 25:45 NalEsser Certified		7.15 Star Rating as of 29 May 2018	
Location	Construction material/type	Bulk Insulation (R-value) (may include edge batt values)	
BATH	Plasterboard on Timber	Bulk Insulation R6	
BATH	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation	
ENT WING	Plasterboard on Timber	Bulk Insulation R6	
ENT WING	Plasterboard on Timber	Bulk Insulation R2.5	
ENT WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation	
LEISURE	Plasterboard on Timber	Bulk Insulation R6	
LEISURE	Plasterboard on Timber	Bulk Insulation R2.5	
MASTER SUITE	Plasterboard on Timber	Bulk Insulation R6	
MASTER SUITE	Plasterboard on Timber	Bulk Insulation R2.5	
MASTER SUITE	Plasterboard on Timber	Bulk Insulation R2.5	
ENS	Plasterboard on Timber	Bulk Insulation R6	
ENS	Plasterboard on Timber	Bulk Insulation R2.5	
HISHER	Plasterboard on Timber	Bulk Insulation R6	
HISHER	Plasterboard on Timber	Bulk Insulation R2.5	
IT NOOK	Plasterboard on Timber	Bulk Insulation R6	
IT NOOK	Plasterboard on Timber	Bulk Insulation R2.5	
WL	Plasterboard on Timber	Bulk Insulation R6	
BATHROOM	Plasterboard on Timber	Bulk Insulation R6	
BATHROOM	Plasterboard on Timber	Bulk Insulation R2.5	
BED 2	Plasterboard on Timber	Bulk Insulation R6	
BED 2	Plasterboard on Timber	Bulk Insulation R2.5	
WR BED 2	Plasterboard on Timber	Bulk Insulation R6	
WR BED 2	Plasterboard on Timber	Bulk Insulation R2.5	
BED 3	Plasterboard on Timber	Bulk Insulation R6	
BED 3	Plasterboard on Timber	Bulk Insulation R2.5	
WR BED 3	Plasterboard on Timber	Bulk Insulation R6	
WR BED 3	Plasterboard on Timber	Bulk Insulation R2.5	
BED 4	Plasterboard on Timber	Bulk Insulation R6	
BED 4	Plasterboard on Timber	Bulk Insulation R2.5	
BED 5	Plasterboard on Timber	Bulk Insulation R6	
BED 5	Plasterboard on Timber	Bulk Insulation R2.5	

Version 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unix MH, 91 Windsor Road , PADSTOW NSW 2211

9712701/26126-05 NatHERS Certificate		7.1 Star Rating as of 20 May 2026										
Ceiling penetrations*												
Location	Quantity	Type	Diameter [mm]	Sealed/unsealed								
PDR	1	Exhaust Fans	300	Sealed								
LDRY	1	Exhaust Fans	300	Sealed								
Kitchen/Living	1	Exhaust Fans	300	Sealed								
BATH	1	Exhaust Fans	300	Sealed								
ENS	1	Exhaust Fans	300	Sealed								
BATHROOM	1	Exhaust Fans	300	Sealed								
Ceiling fans												
Location	Quantity		Diameter [mm]									
No Data Available												
Roof type												
Construction	Insulation [R-value]		Reflective wrap* [yes/no]	Solar absorbance [colour]	Roof shade							
Corrugated Iron Timber Frame Bulk, Reflective Side Down, No Air Gap Above R1.3				0.50	Medium							
Thermal bridging schedule for steel frame elements												
Building element	Steel section dimensions [height x width, mm]		Frame spacing [mm]	Steel thickness [3MM, mm]	Thermal break [R-value]							
No Data Available												
Appliance schedule												
<i>(not applicable if a Whole of Home performance assessment is not conducted for this certificate)</i>												
Cooling system												
Appliance/ system type	Location		Fuel type	Performance	Recommended capacity							
No Data Available												
Heating system												
Appliance/ system type	Location		Fuel type	Performance	Recommended capacity							
No Data Available												

Version 2025.0
 * Refer to glossary.
 Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit M1, 91 Windsor Road, PADSTOW, NSW, 2211

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00127/00126-05 NatHERS Certificate		7.1 Star Rating as of 20 May 2026			
Hot water system					
Appliance/ system type		Fuel type	Performance	Hot water CER* zone	
No Data Available					
Lighting					
Lighting power density (W/m ²) (default assumption 9W/m ²)					
No Data Available					
Cooking					
Cooktop type			Oven type		
No Data Available					
Pool/spa equipment					
Appliance/ system type		Volume [litres]	Star rating	Recommended pump capacity [W]	
No Data Available					

Version 2025.0
* Refer to [Glossary](#).
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unix M1, 51 Windsor Road, PAIDSTOW, NSW, 2211



FOWLER
YOUR HOME. OUR PASSION.

DESIGN NAME:	FACADE NAME:
BROOKLY 37 -	ESPLANADE (NO
DISPLAY	BALCONY)
PACKAGE:	JOB NO:
PRESTIGE	25-1048

NATHERS

SCALE: @ A3

DATE:	SHEET NO:
03.07.26	003

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

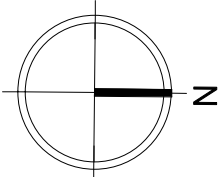
SIGNATURE: _____ DATE: _____

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:
LOT: 18 DP: 19247
91 WINDSOR ROAD
PADSTOW NSW 2211

REVISION

-2



(X) EASEMENT FOR DRAINAGE 1.83 WIDE (C961358)
W - DENOTES GROUND FLOOR WINDOW
W1 - DENOTES UPPER FLOOR WINDOW

ALL OFF-STREET CAR PARKING SPACES
AND VEHICLE ACCESS MUST COMPLY
WITH AS/NZS 2890.1:2004, PARKING
FACILITIES, PART 1: OFF-STREET CAR
PARKING

FRONT YARD LANDSCAPING:

THE AREA FORWARD OF THE
BUILDING LINE= 102.00m²
45% OF AREA= 45.90m²

PROPOSED= 54.10m² (53%)

COUNCIL:
CANTERBURY BANKSTOWN

DEVELOPER:
N/A

GROWTH CENTRE:
N/A

DA COUNCIL APPROVAL
COUNCIL APPROVAL
REFER TO COUNCIL REGULATIONS
FOR FURTHER DETAILS.

SITE AREA: 817.50 m²

SITE COVERAGE

EXCLUDING FIRST FLOOR, BALCONY	
GROUND FLOOR AREA:	158.05 m ²
GARAGE AREA:	34.59 m ²
PATIO AREA:	3.16 m ²
OUTDOOR RETREAT AREA:	24.78 m ²
DRIVEWAY AREA:	56.47 m ²
G/FLAT & OUTDOOR RETREAT	83.09 m ²
MAX. SITE COVERAGE:	GROUND:75.00% FIRST:0.00%
PROPOSED:	TOTAL GF:40.40% TOTAL FF:00.00%

FLOOR SPACE RATIO

AREAS ARE MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS. EXCLUDING VOIDS	
GROUND FLOOR FSR:	140.31 m ²
FIRST FLOOR FSR:	142.40 m ²
GARAGE FSR:	30.64 m ²
EXISTING STRUCTURE FSR:	0.00 m ²
GRANNY FLAT FSR:	52.07 m ²
TOTAL GROSS FLOOR AREA:	365.42 m ²
ALLOWED FSR:	50.00%
PROPOSED FSR:	44.70%

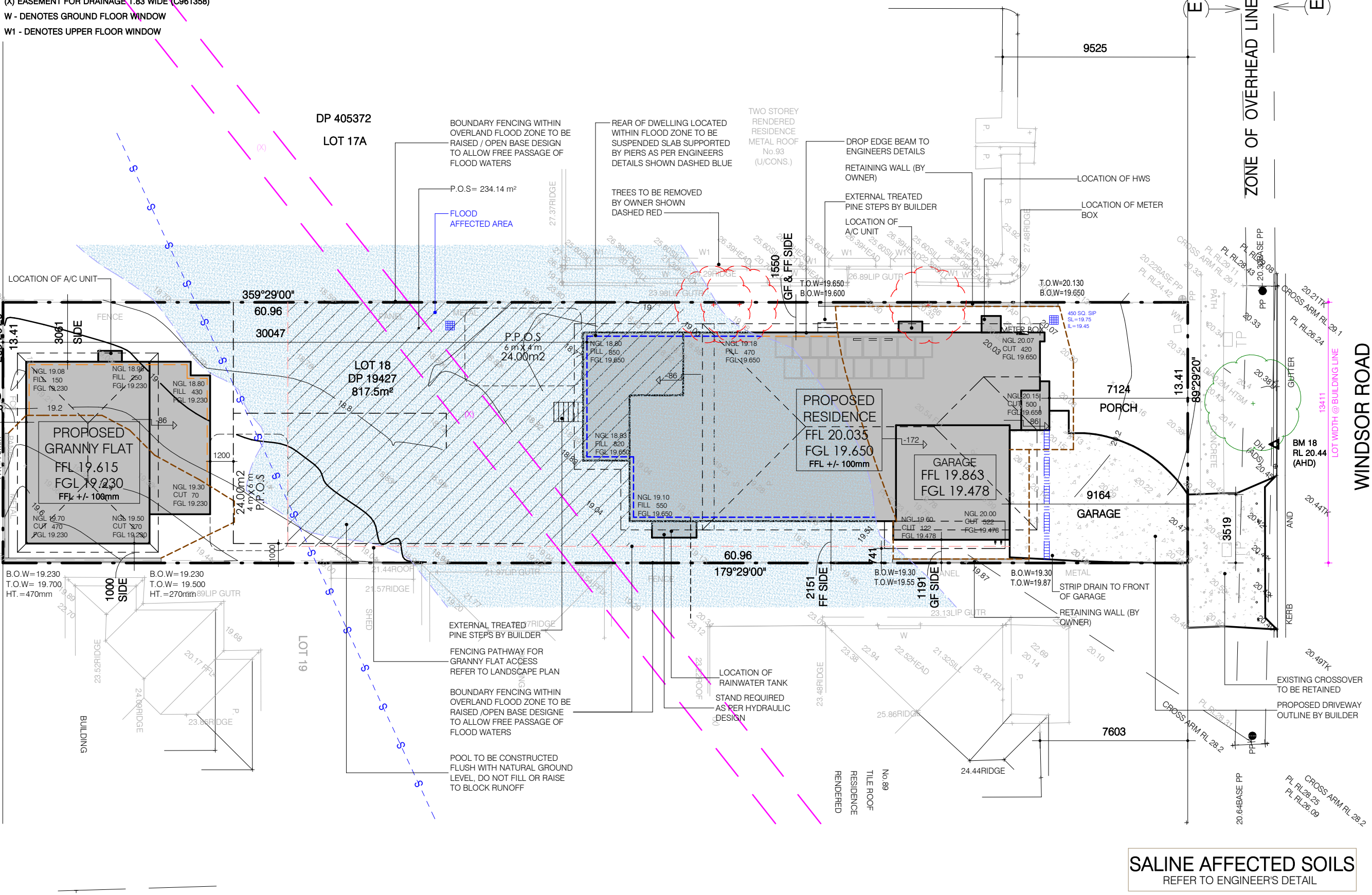
LANDSCAPE AREA

SITE AREA:	817.50 m ²
TOTAL HARDSTAND AREA:	279.95 m ²
APPROX DRIVEWAY AREA:	56.47 m ²
LESS THAN 1.5m:	25.94 m ²
G/FLAT & OUTDOOR RETREAT	83.09 m ²
LANDSCAPED AREA:	372.05 m ²
MINIMUM LANDSCAPE:	45%
PROPOSED LANDSCAPE:	45.51%

PRIVATE OPEN SPACE

PRINCIPAL PRIVATE OPEN SPACE:	48.00 m ²
PRIVATE OPEN SPACE:	234.14 m ²

LEGEND	
CUT/FILL	---
DROP EDGE BEAM	---
NATURAL GROUND LEVEL	NGL
FINISH GROUND LEVEL	FGL
FINISH FLOOR LEVEL	FFL
PRIVATE OPEN SPACE	///



SALINE AFFECTED SOILS
REFER TO ENGINEER'S DETAIL



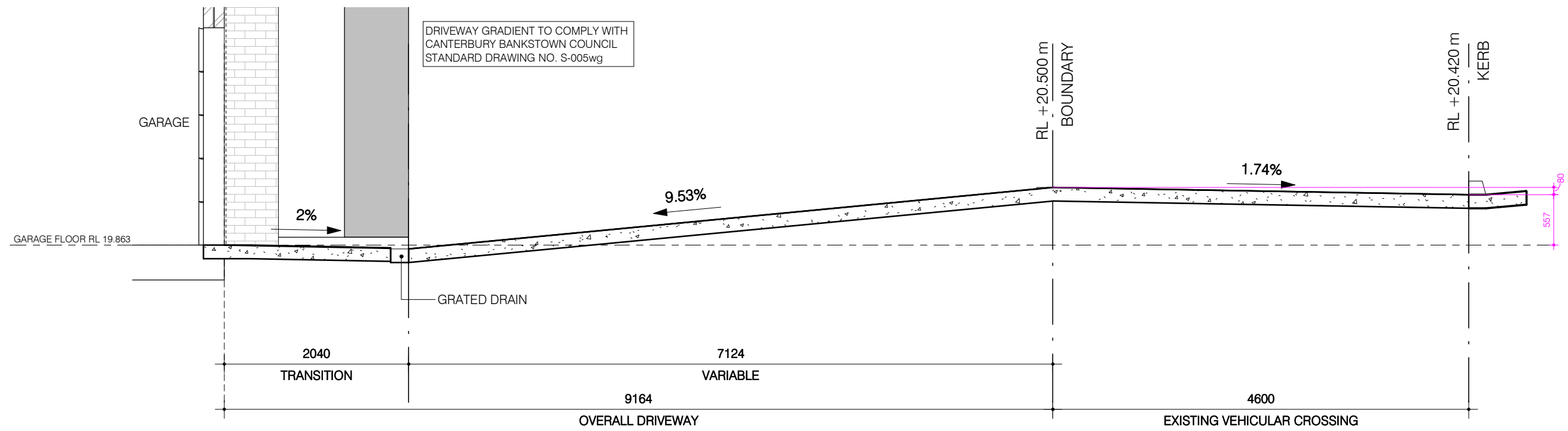
DESIGN NAME: BROOKLY 37 - DISPLAY PACKAGE: PRESTIGE
FACADE NAME: ESPLANADE (NO BALCONY) JOB NO: 25-1048

SITE PLAN
SCALE: 1 : 200 @ A3
DATE: 03.07.26 SHEET NO: 004

CLIENT'S NAME: MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: _____ DATE: _____
I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 18
91 WINDSOR ROAD
PADSTOW NSW 2211
DP: 19247

REVISION: B-2



FOWLER
YOUR HOME. OUR PASSION.

DESIGN NAME:
BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:
ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

DRIVEWAY GRADIENT
SCALE: 1 : 50 @ A3

DATE: 03.07.26

SHEET NO: 005

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON

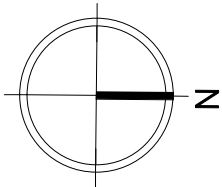
SIGNATURE: _____ DATE: _____

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

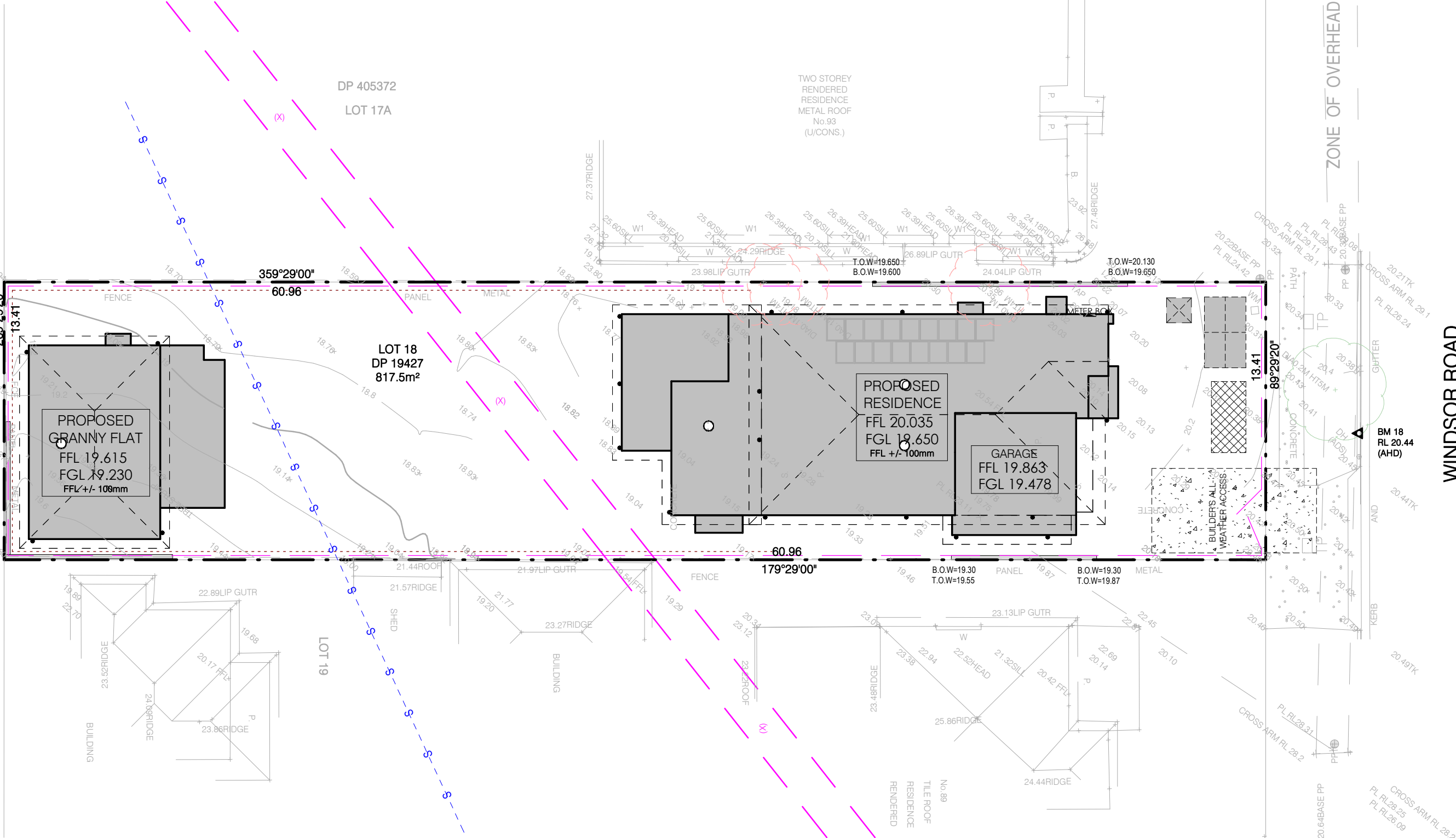
SITE ADDRESS:
LOT: 18
91 WINDSOR ROAD
PADSTOW

DP: 19247
NSW 2211

REVISION:
B-2



(X) EASEMENT FOR DRAINAGE 1.83 WIDE (C961358)
W - DENOTES GROUND FLOOR WINDOW
W1 - DENOTES UPPER FLOOR WINDOW



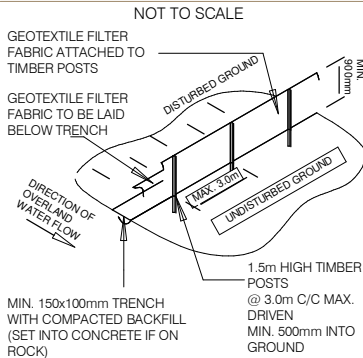
NOISE AND VIBRATION CONTROL

- BOREHOLE REPORT SHOWS NO ROCK WITHIN SITE. MINIMAL VIBRATION AND NOISE DURING PIER HOLE DRILLING.
- SITE PLAN INDICATES MINIMAL CUT AND FILL. PLANT USE WILL BE LOW IMPACT AND FOR MINIMAL TIMBERFRAMES.

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE



LEGEND

	CONSTRUCTION FENCE
	SEDIMENT CONTROL FENCE
	WASTE STOCKPILE
	BUILDERS WASTE
	ALL WEATHER ACCESS
	ONSITE PORTABLE TOILET



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DESIGN NAME: BROOKLY 37 - DISPLAY PACKAGE: PRESTIGE
FACADE NAME: ESPLANADE (NO BALCONY) JOB NO: 25-1048

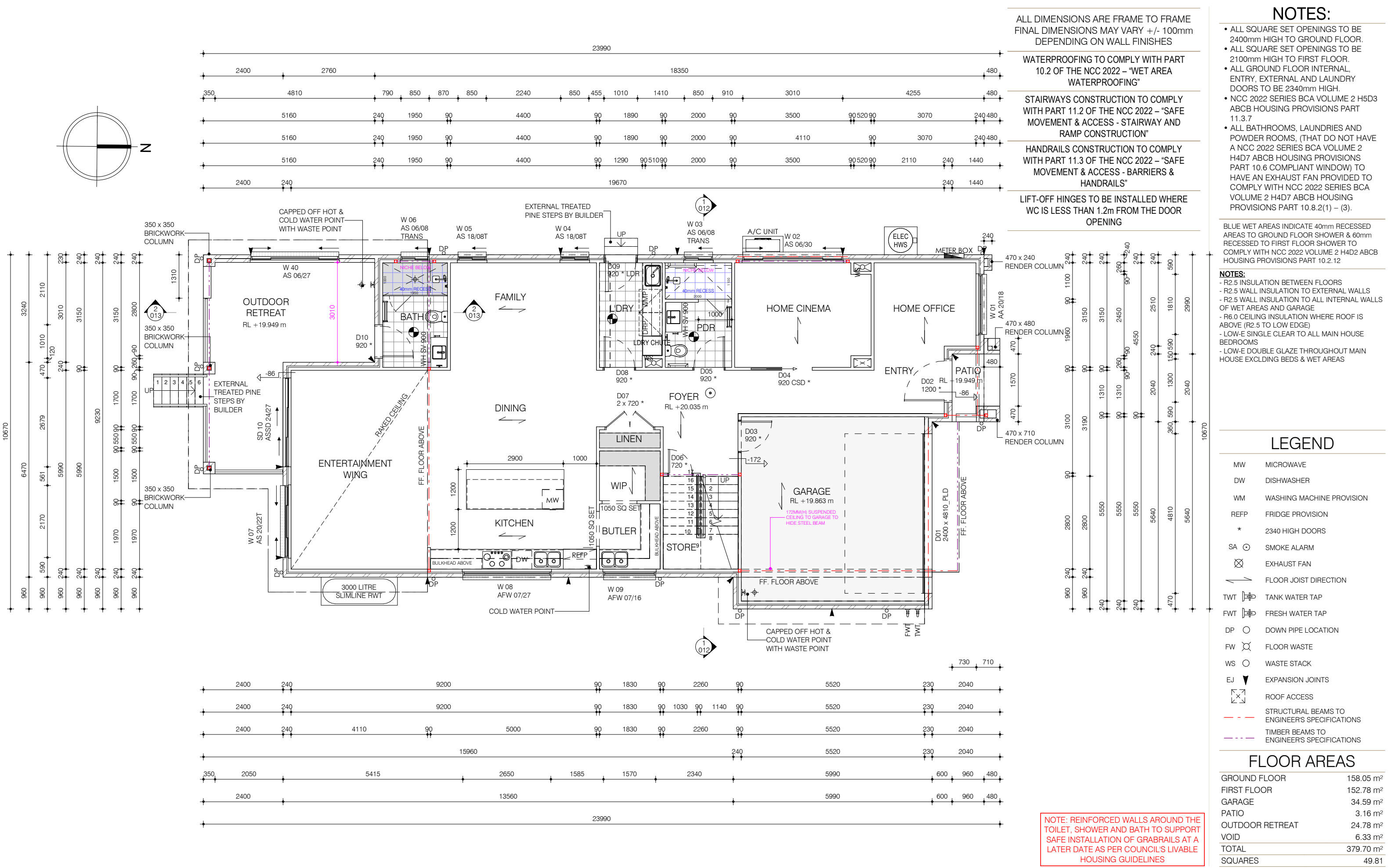
SITE MANAGEMENT PLAN
SCALE: As indicated @ A3
DATE: 03.07.26 SHEET NO: 006

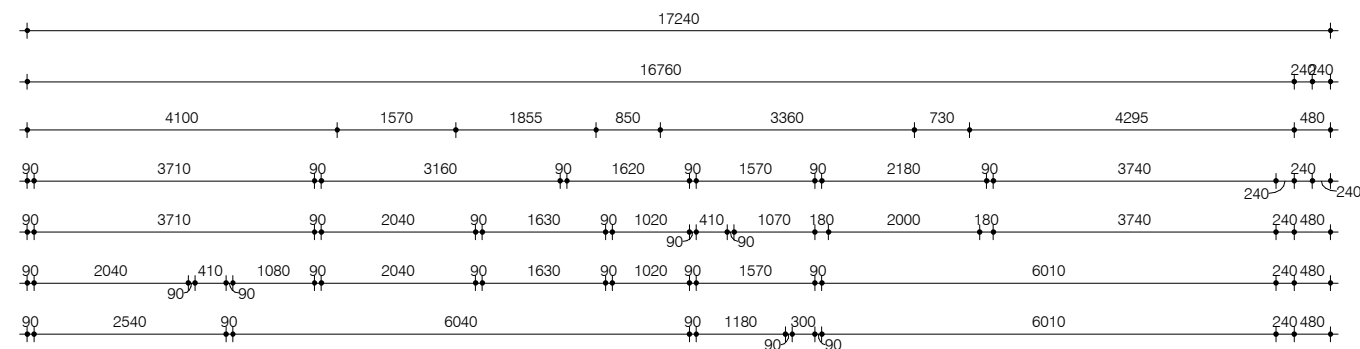
CLIENT'S NAME: MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: DATE:

SITE ADDRESS: LOT: 18
91 WINDSOR ROAD
PADSTOW
DP: 19247
NSW 2211

REVISION:

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LIFT-OFF HINGES TO BE INSTALLED WHERE
WC IS LESS THAN 1.2m FROM THE DOOR
OPENING

- ALL SQUARE SET OPENINGS TO BE 2400mm HIGH TO GROUND FLOOR.
- ALL SQUARE SET OPENINGS TO BE 2100mm HIGH TO FIRST FLOOR.
- ALL GROUND FLOOR INTERNAL, ENTRY, EXTERNAL AND LAUNDRY DOORS TO BE 2340mm HIGH.
- NCC 2022 SERIES BCA VOLUME 2 H5D3 ABCB HOUSING PROVISIONS PART 11.3.7
- ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE A NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) – (3).

BLUE WET AREAS INDICATE 40mm RECESSED
AREAS TO GROUND FLOOR SHOWER & 60mm
RECESSED TO FIRST FLOOR SHOWER TO
COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB
HOUSING PROVISIONS PART 10.2.12

- R2.5 INSULATION BETWEEN FLOORS
- R2.5 WALL INSULATION TO EXTERNAL WALLS
- R2.5 WALL INSULATION TO ALL INTERNAL WALLS OF WET AREAS AND GARAGE
- R6.0 CEILING INSULATION WHERE ROOF IS ABOVE (R2.5 TO LOW EDGE)
- LOW-E SINGLE CLEAR TO ALL MAIN HOUSE BEDROOMS
- LOW-E DOUBLE GLAZE THROUGHOUT MAIN HOUSE EXCLUDING BEDS & WET AREAS

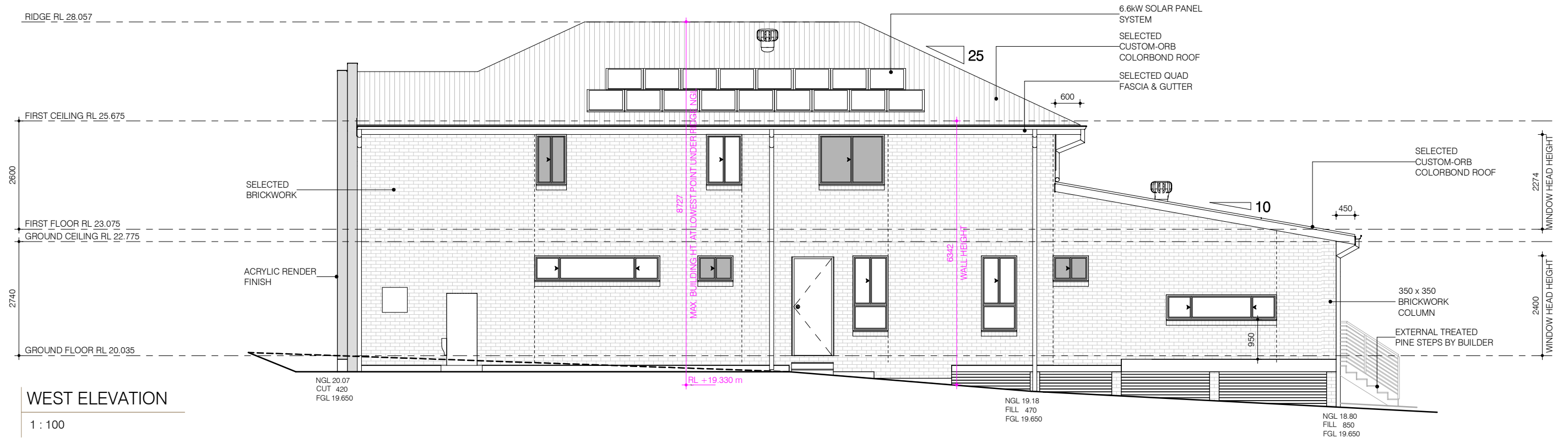
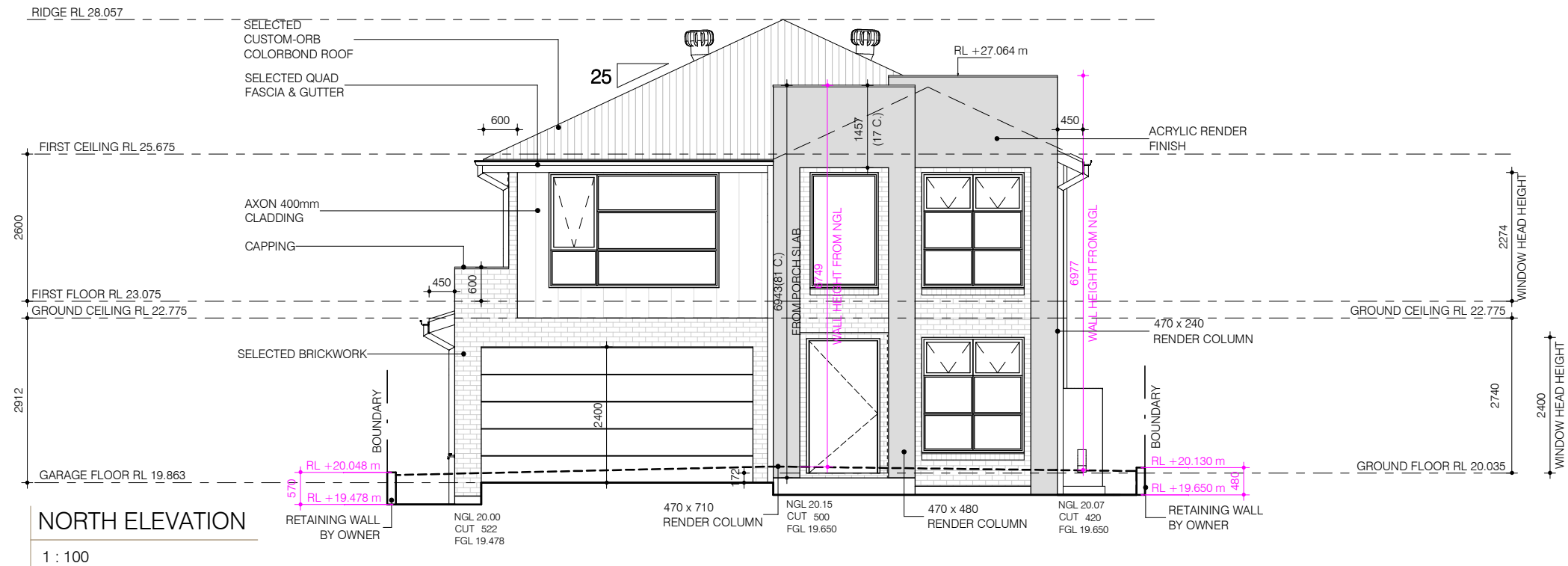
MW	MICROWAVE
DW	DISHWASHER
WM	WASHING MACHINE PROVISION
REFP	FRIDGE PROVISION
*	2340 HIGH DOORS
SA	SMOKE ALARM
	EXHAUST FAN
	FLOOR JOIST DIRECTION
TWT	TANK WATER TAP
FWT	FRESH WATER TAP
DP	DOWN PIPE LOCATION
FW	FLOOR WASTE
WS	WASTE STACK
EJ	EXPANSION JOINTS
	ROOF ACCESS
	STRUCTURAL BEAMS TO ENGINEER'S SPECIFICATIONS
	TIMBER BEAMS TO ENGINEER'S SPECIFICATIONS

GROUND FLOOR	158.05 m ²
FIRST FLOOR	152.78 m ²
GARAGE	34.59 m ²
PATIO	3.16 m ²
OUTDOOR RETREAT	24.78 m ²
VOID	6.33 m ²
TOTAL	379.70 m ²
SQUARES	49.81

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DESIGN NAME:
BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:
ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

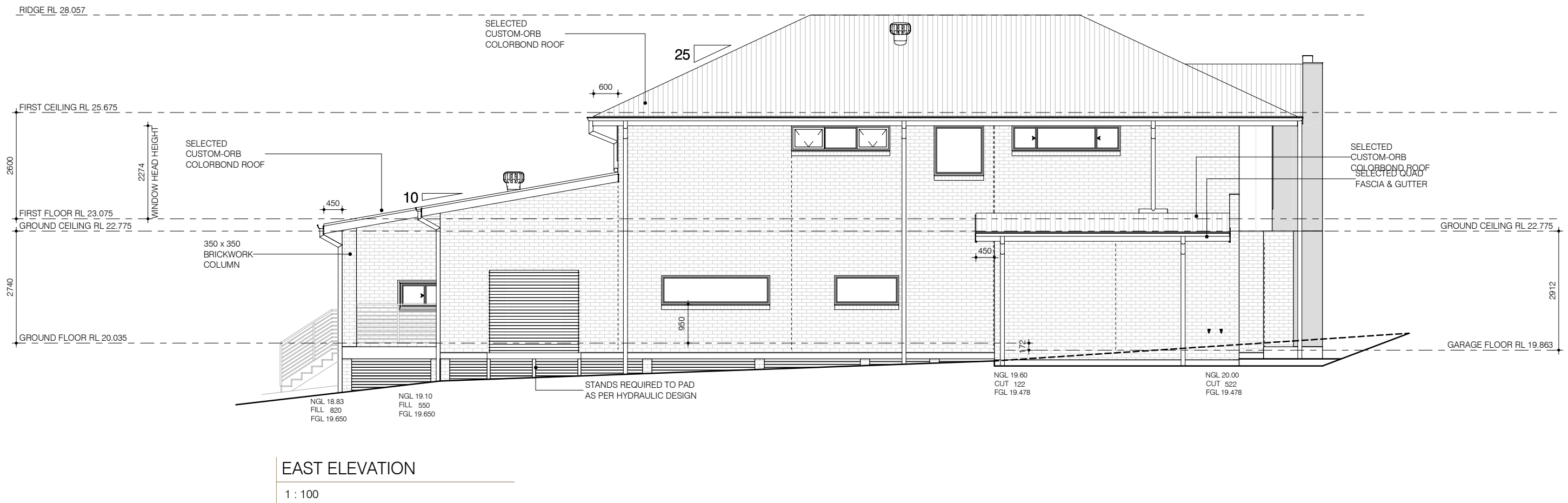
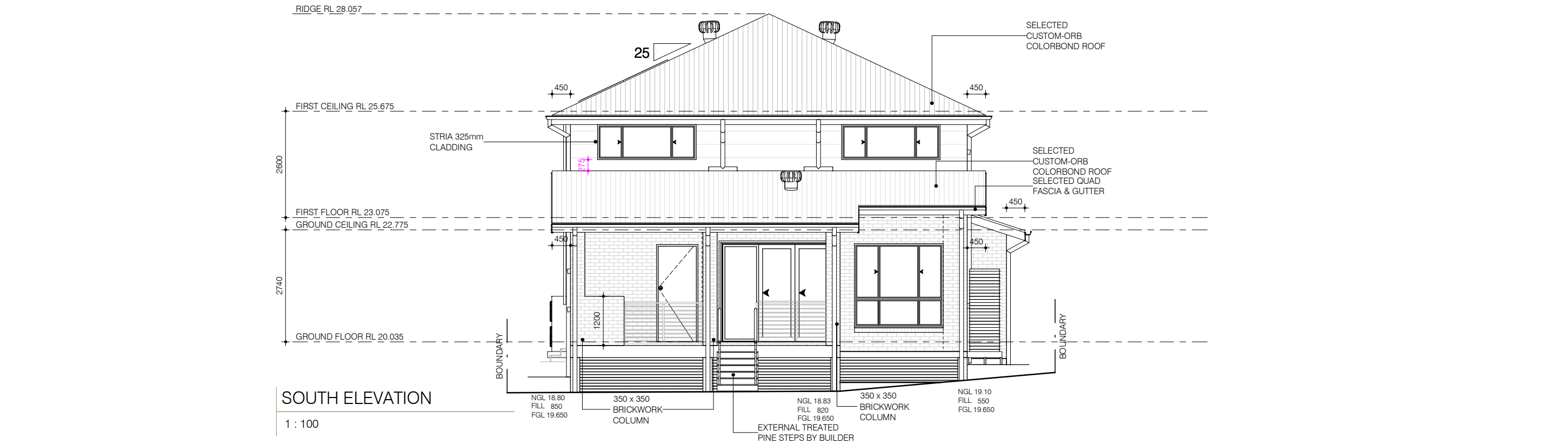
ELEVATIONS
SCALE: 1 : 100 @ A3
DATE: 03.07.26
SHEET NO: 009

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: _____ DATE: _____
I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:
LOT: 18
91 WINDSOR ROAD
PADSTOW
DP: 19247
NSW 2211

REVISION:

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DESIGN NAME:

BROOKLY 37 -
DISPLAY
PACKAGE:

PRESTIGE

FACADE NAME:

ESPLANADE (NO
BALCONY)
JOB NO:

25-1048

ELEVATIONS

SCALE: 1 : 100 @ A3

DATE:

03.07.26

SHEET NO:

010

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE:

DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:

LOT: 18

91 WINDSOR ROAD

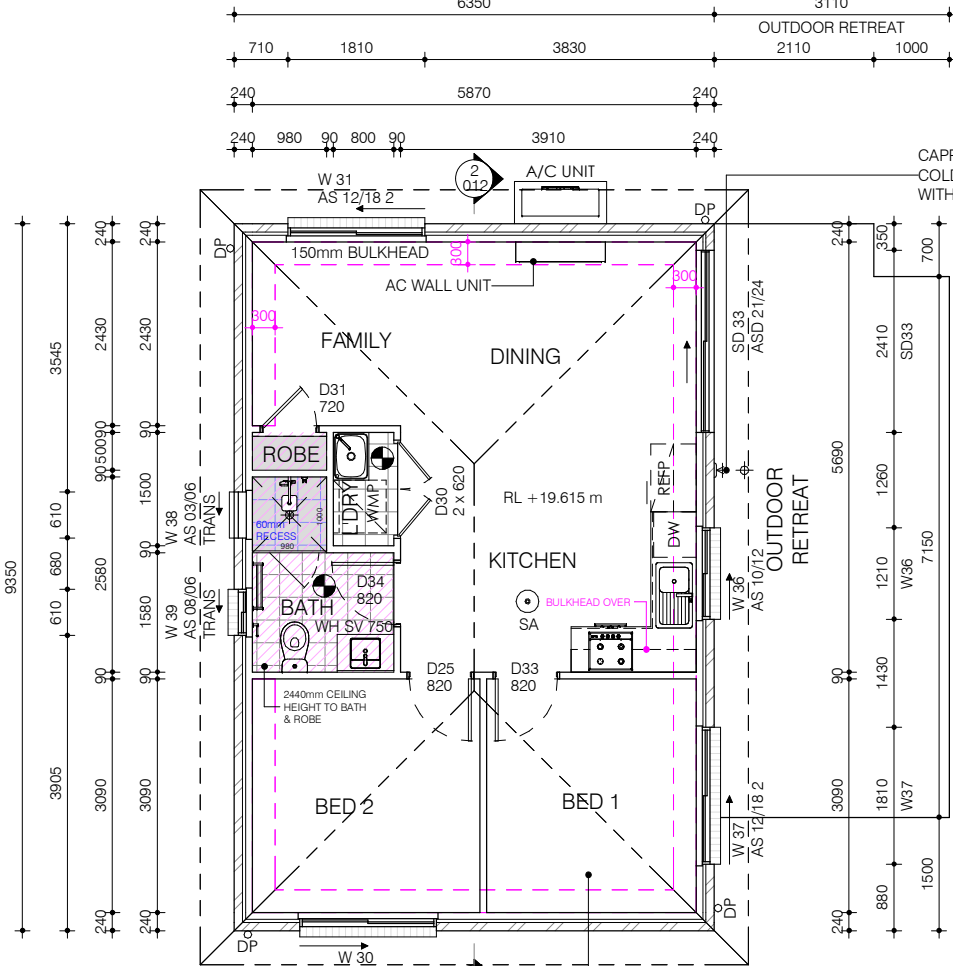
PADSTOW

DP: 19247

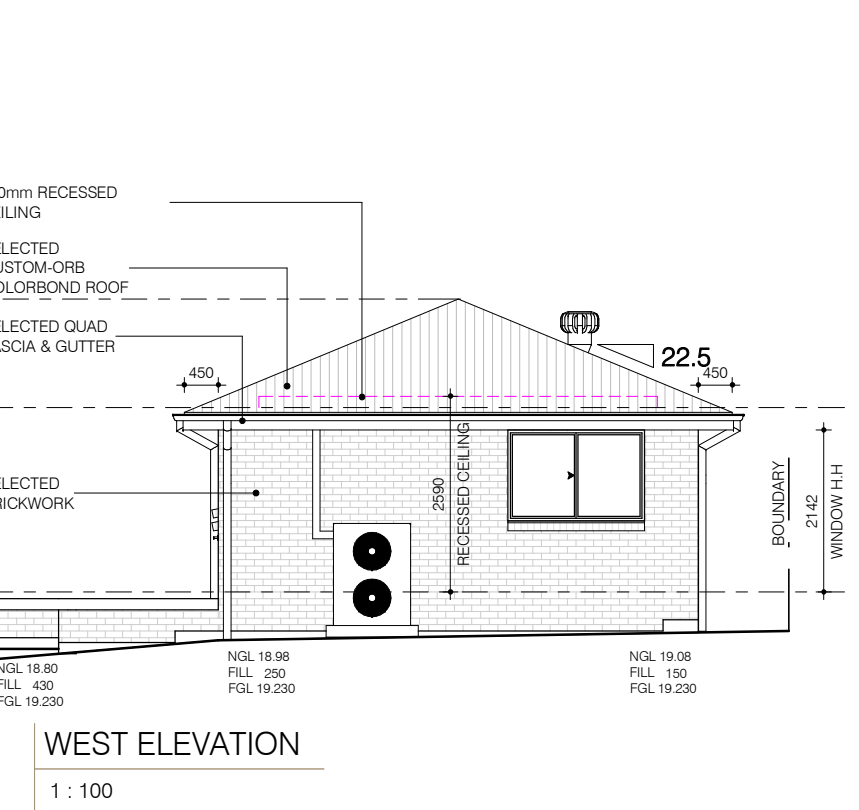
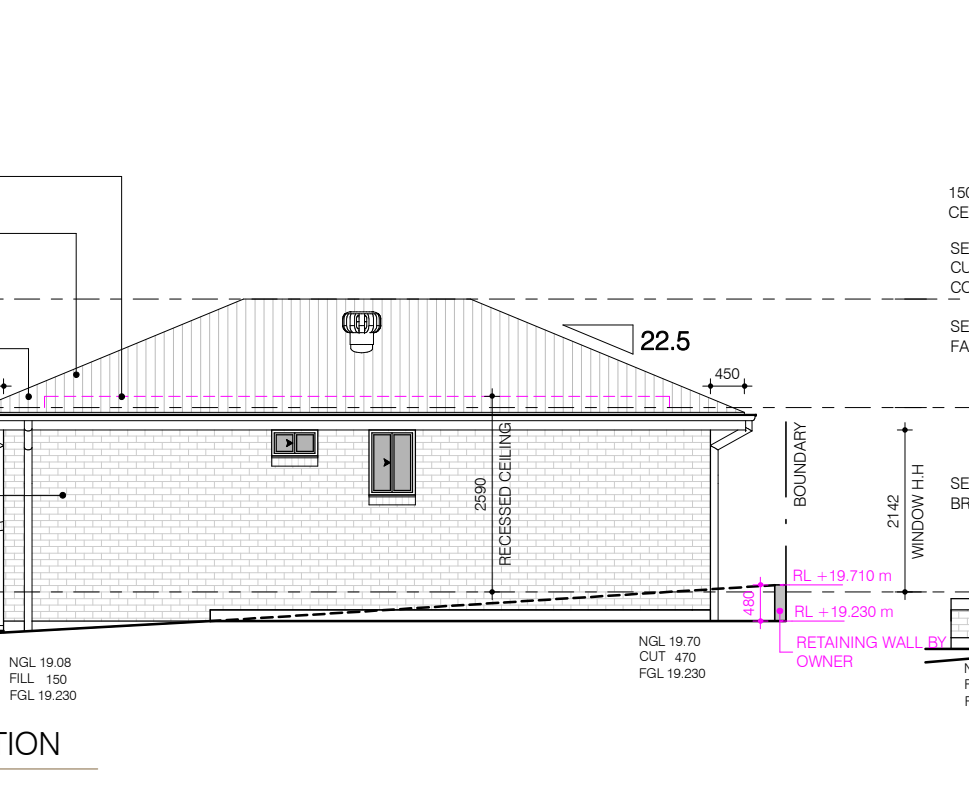
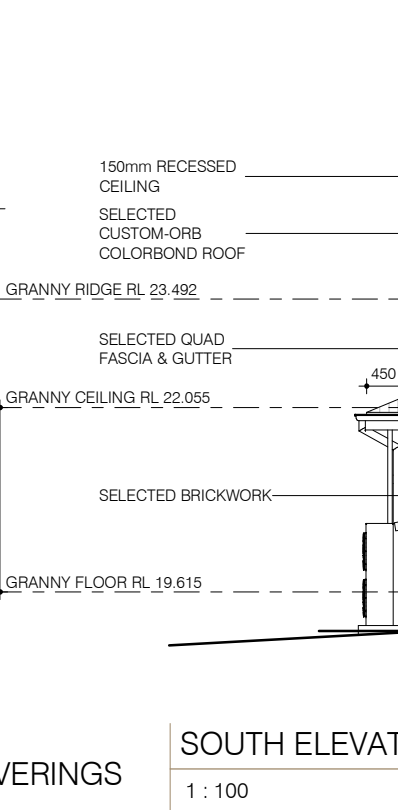
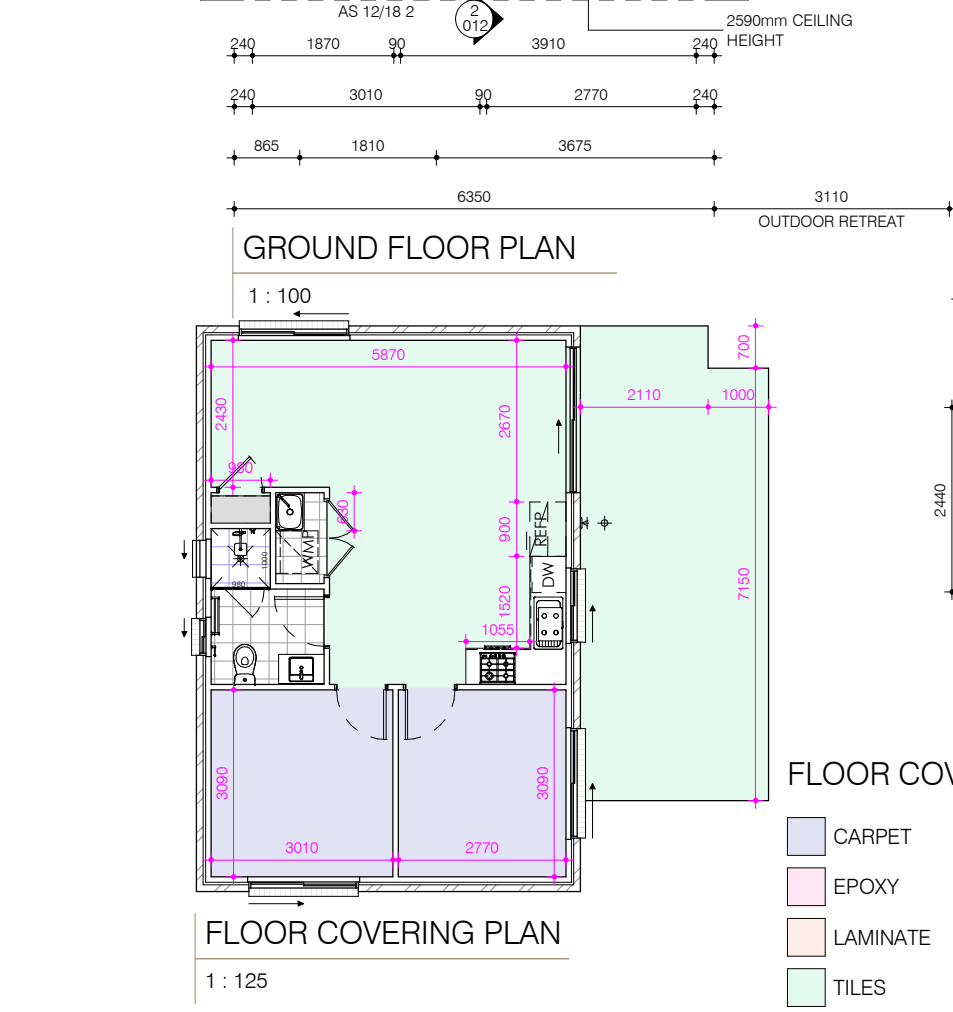
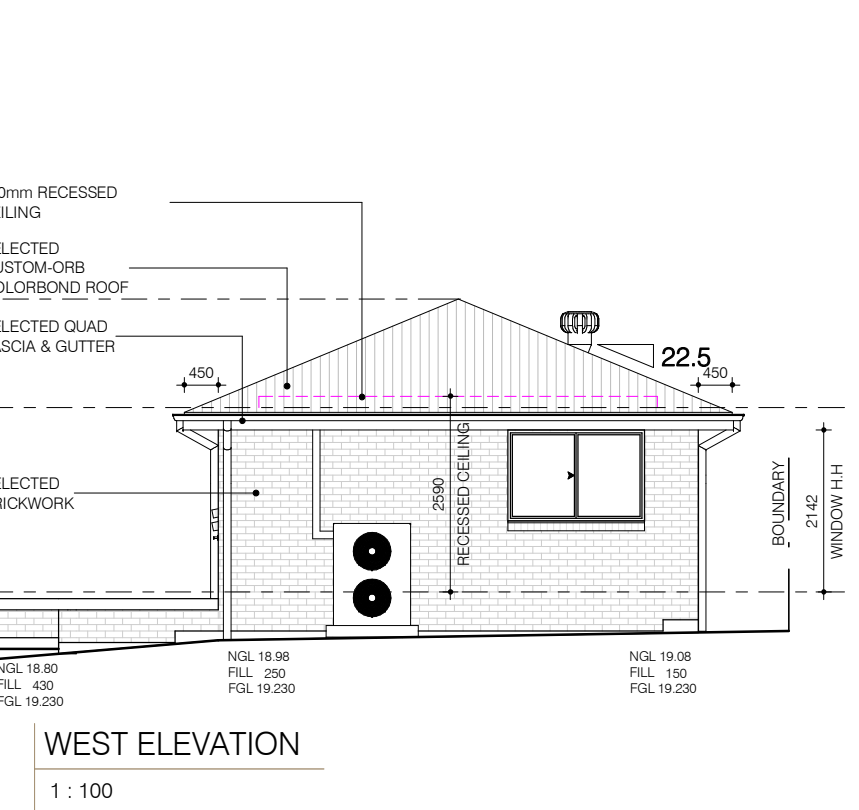
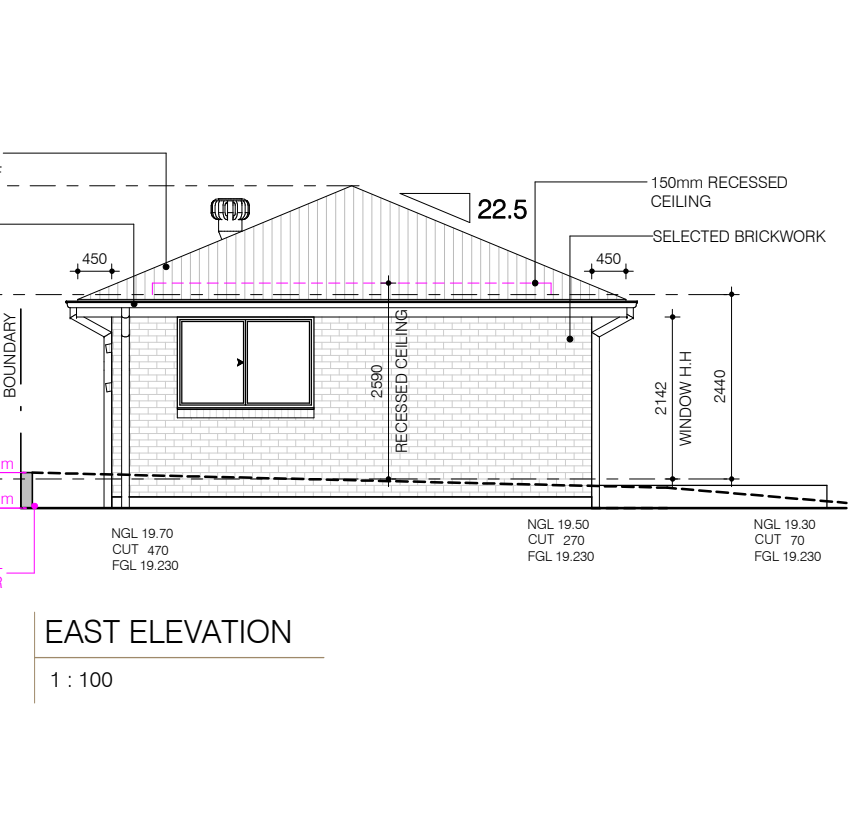
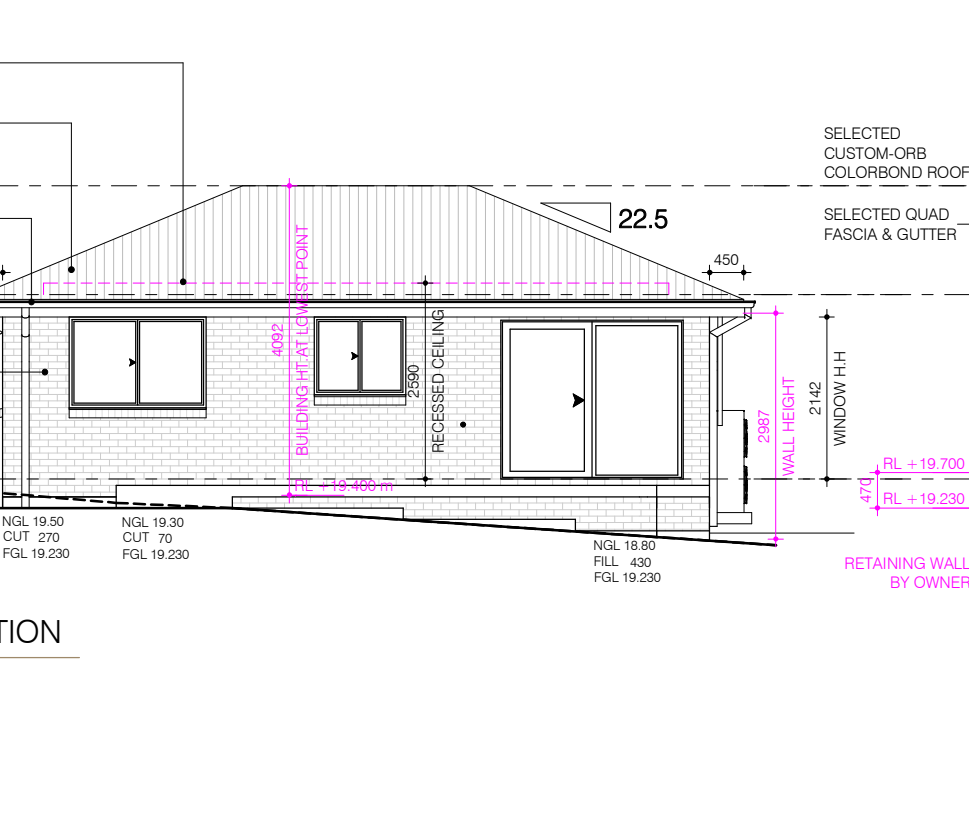
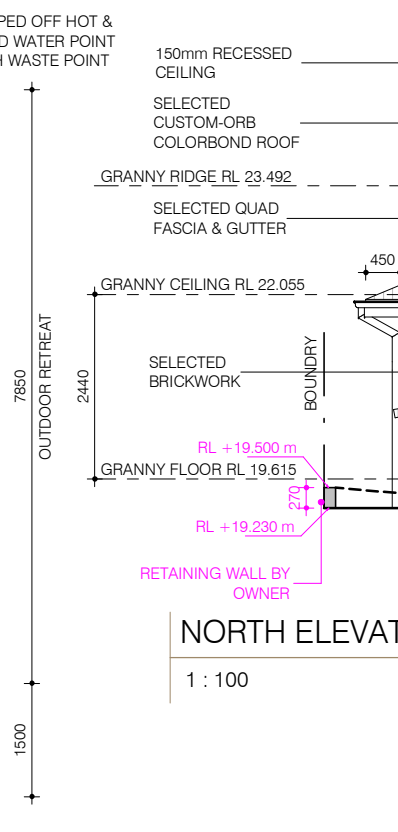
NSW 2211

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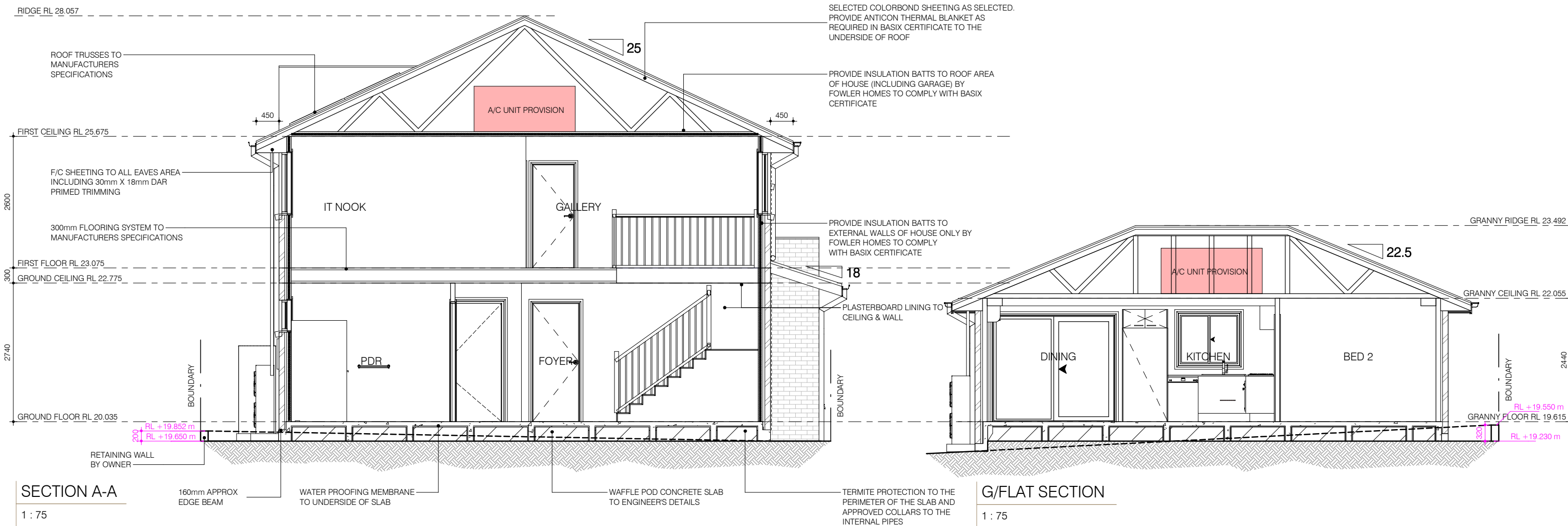
B-2



NOTE: REINFORCED WALLS AROUND THE TOILET, SHOWER AND BATH TO SUPPORT SAFE INSTALLATION OF GRABRAILS AT A LATER DATE AS PER COUNCIL'S LIVABLE HOUSING GUIDELINES



GRANNY FLOOR AREAS	
GRANNY FLAT	59.37 m²
OUTDOOR RETREAT	23.71 m²
TOTAL	83.09 m²



NCC 2022 HOUSING PROVISIONS - Part 10.8 Condensation Management			NCC 2022 HOUSING PROVISIONS - Part 10.8 Condensation Management			NCC 2022 HOUSING PROVISIONS - Part 10.8 Condensation Management		
PROJECT DETAILS			PROJECT DETAILS			PROJECT DETAILS		
ROOF DESCRIPTION:	ROOF "A"		ROOF DESCRIPTION:	ROOF "B"		ROOF DESCRIPTION:	ROOF "D"	
BUSHFIRE AFFECTED:	NO		BUSHFIRE AFFECTED:	NO		BUSHFIRE AFFECTED:	NO	
CLIMATE ZONE:	5		CLIMATE ZONE:	5		CLIMATE ZONE:	5	
ROOF PITCH:	25°		ROOF PITCH:	10°		ROOF PITCH:	22.5°	
EAVE LENGTH:	17.36m		EAVE LENGTH:	10.61m		EAVE LENGTH:	10.25m	
CALCULATIONS			CALCULATIONS			CALCULATIONS		
EAVE VENT AREA REQUIRED:	121520mm²		EAVE VENT AREA REQUIRED:	265250mm²		EAVE VENT AREA REQUIRED:	71750mm²	
ROOF VENT AREA REQUIRED:	86800mm²		ROOF VENT AREA REQUIRED:	53050mm²		ROOF VENT AREA REQUIRED:	51250mm²	
SPECIFICATIONS			SPECIFICATIONS			SPECIFICATIONS		
EXTERNAL WALL CONSTRUCTION:			EXTERNAL WALL CONSTRUCTION:			EXTERNAL WALL CONSTRUCTION:		
PLIABLE MEMBRANE:	YES		PLIABLE MEMBRANE:	YES		PLIABLE MEMBRANE:	YES	
WALL WRAP PERMEANCE VALUE:	1.14 ug/N.s		WALL WRAP PERMEANCE VALUE:	1.14 ug/N.s		WALL WRAP PERMEANCE VALUE:	1.14 ug/N.s	
EAVE VENTS:			EAVE VENTS:			EAVE VENTS:		
EAVE VENT MANUFACTURER AND MODEL:	BRADFORD METAL EAVE VENT		EAVE VENT MANUFACTURER AND MODEL:	BRADFORD METAL EAVE VENT		EAVE VENT MANUFACTURER AND MODEL:	BRADFORD METAL EAVE VENT	
EAVE VENT OPENNESS FACTOR:	35000 mm²		EAVE VENT OPENNESS FACTOR:	35000 mm²		EAVE VENT OPENNESS FACTOR:	35000 mm²	
NUMBER OF EAVE VENTS REQUIRED:	3.472		NUMBER OF EAVE VENTS REQUIRED:	7.578571		NUMBER OF EAVE VENTS REQUIRED:	2.05	
ROOF VENTS:			ROOF VENTS:			ROOF VENTS:		
ROOF VENT MANUFACTURER AND MODEL:	AMPELITE SPINAWAY		ROOF VENT MANUFACTURER AND MODEL:	AMPELITE SPINAWAY		ROOF VENT MANUFACTURER AND MODEL:	AMPELITE SPINAWAY	
ROOF VENT OPENNESS FACTOR:	62500 mm²		ROOF VENT OPENNESS FACTOR:	62500 mm²		ROOF VENT OPENNESS FACTOR:	62500 mm²	
NUMBER OF ROOF VENTS REQUIRED:	1.3888		NUMBER OF ROOF VENTS REQUIRED:	0.8488		NUMBER OF ROOF VENTS REQUIRED:	0.82	

- NCC NOTES:**
- DWELLING CONSISTS OF TIMBER FRAMES
 - MECHANICAL VENTILATION MUST HAVE MINIMUM EXHAUST RATE OF 25L/A. WITH EXHAUST BEING DUCTED TO THE OUTSIDE WITH THE FANS BEING ACTIVATED BY THE LIGHT SWITCH AND HAVING A 10-MINUTE RUN ON AS REQUIRED BY THE NCC 2022 SERIES BCA VOLUME 2 H4D7 HOUSING PROVISIONS PART 10.6.2.
 - WET AREAS TO BE 40MM RECESSED AREAS TO GROUND FLOOR & 50MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
 - FLOOR WASTE LOCATIONS TO BE CONFIRMED AT CONSTRUCTION DRAWINGS TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH 10.2.32.
 - ALL EXTERNAL SIDE HUNG DOOR AND ANY INTERNAL SIDE HUNG DOOR BETWEEN THE DWELLING AND THE GARAGE AS BEING PROVIDED WITH A DRAFT PROTECTION DEVICE AND THE OUTER EDGES OF THE DOOR BEING FITTED WITH A FOAM, RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE TO RESTRICT AIR INFILTRATION TO COMPLY WITH NCC 2022 BCA VOLUME 2 PART H6 HOUSING PROVISIONS 13.4.4.
 - SHOULD A PLIABLE MEMBRANE BE PROPOSED PROVIDE PLANS NOMINATING THE MEMBRANE HAS A 'VAPOUR PERMEANCE' OF NO LESS THAN 1.14ug/N.s AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.1(2)(B) 7. PROVIDE PLANS INDICATING THE LOCATIONS OF THE REQUIRED MINIMUM OF 7000mm²/M OF ROOF VENTILATION AT THE EAVES AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(C) AND TABLE 10.8.3.
 - CEILING INSTALLATION BEING INSTALLED SO THAT THERE IS A MINIMUM GAP OF 20MM BETWEEN INSULATION AND SARKING TO COMPLY WITH NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(B) AND EXPLANATORY FIGURE 10.8.3.
 - DWELLING IS LOCATED WITHIN CLIMATE ZONE 5 AND SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT NCC PROVISIONS.



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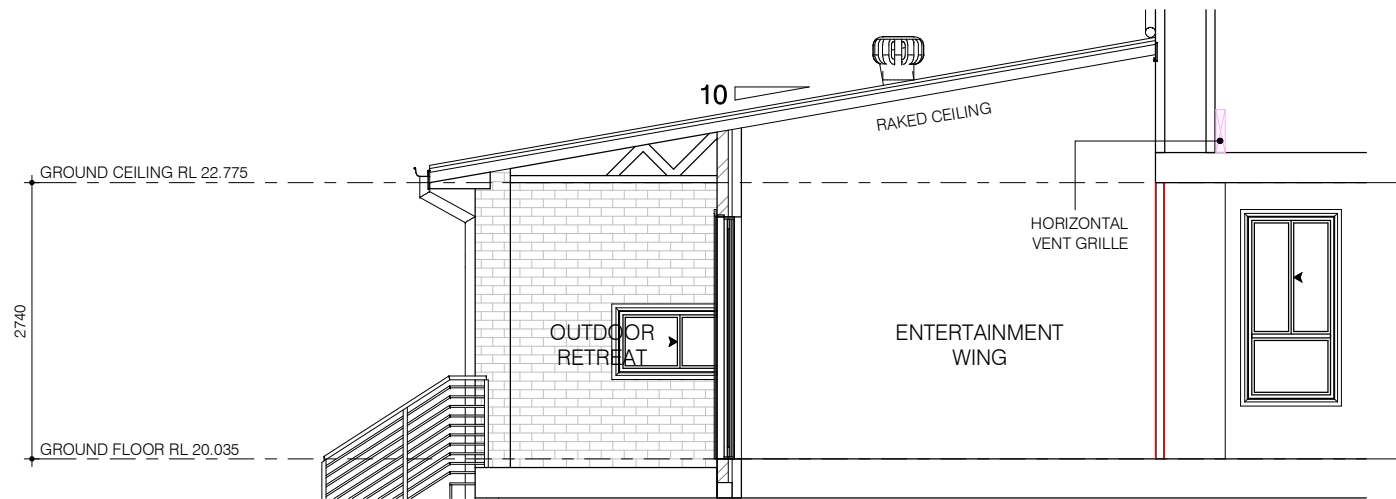
DESIGN NAME: FACADE NAME:
BROOKLY 37 - ESPLANADE (NO
DISPLAY BALCONY)
PACKAGE: JOB NO:
PRESTIGE 25-1048

SECTION
SCALE: 1 : 75 @ A3
DATE: SHEET NO:
03.07.26 012

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: DATE:

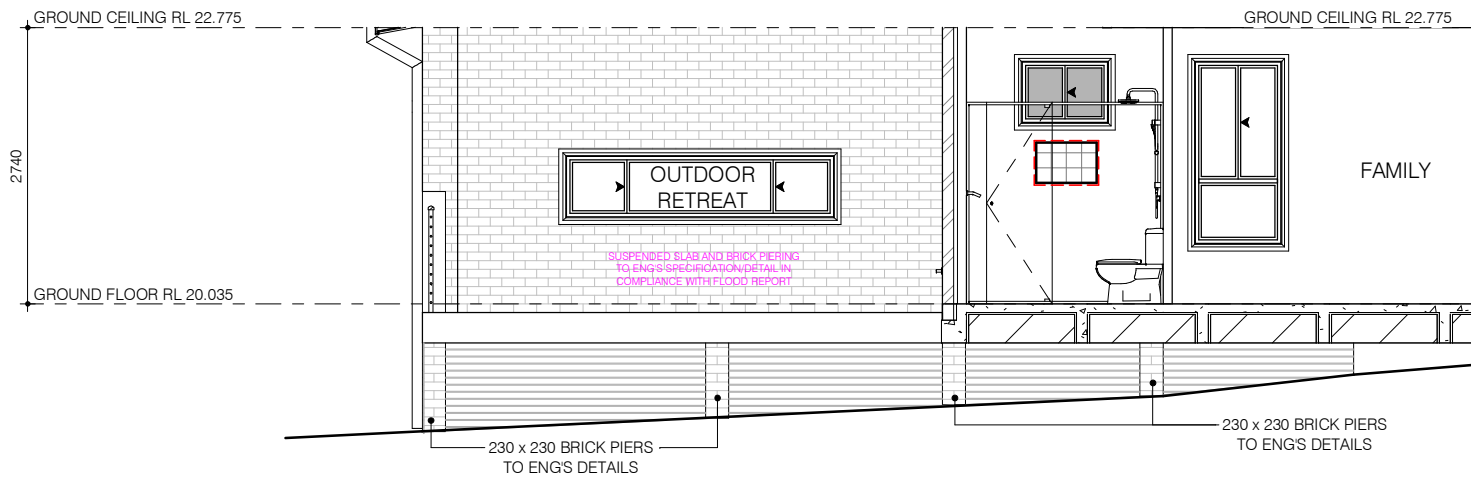
SITE ADDRESS:
LOT: 18 DP: 19247
91 WINDSOR ROAD
PADSTOW NSW 2211

REVISION:
B-2



RAKED CEILING

1 : 75



SUSPENDED SLAB DETAIL

1 : 75



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DESIGN NAME:

BROOKLY 37 -
DISPLAY
PACKAGE:

PRESTIGE

FACADE NAME:

ESPLANADE (NO
BALCONY)
JOB NO:

25-1048

DETAILS

SCALE: 1 : 75 @ A3

DATE:

03.07.26

SHEET NO:

013

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE:

DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
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SITE ADDRESS:

LOT: 18

91 WINDSOR ROAD

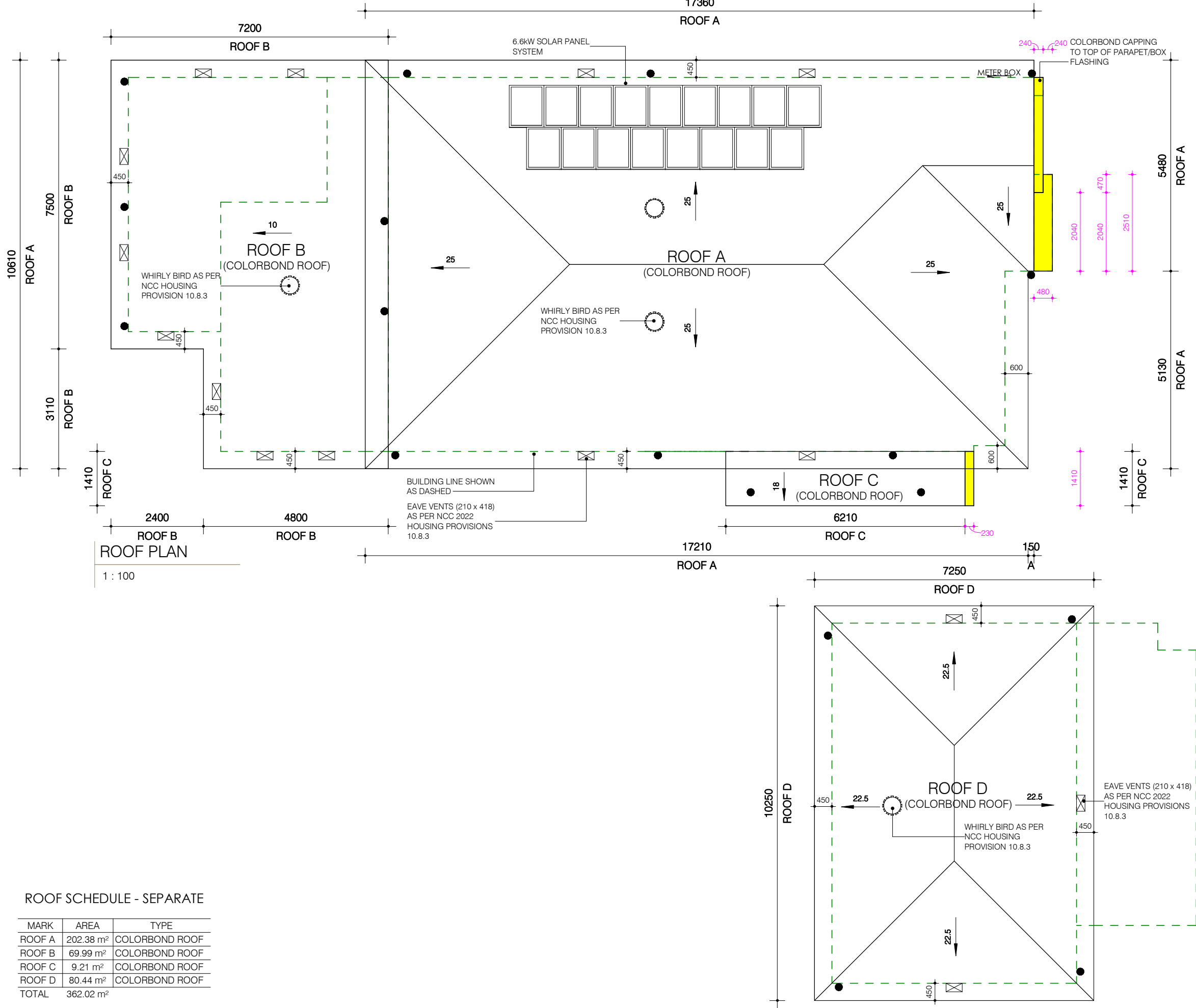
PADSTOW

DP: 19247

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REVISION:

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DESIGN NAME:
BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:
ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

ROOF PLAN
SCALE: 1 : 100 @ A3
DATE: 03.07.26
SHEET NO: 014

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: _____ DATE: _____
I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:
LOT: 18
91 WINDSOR ROAD
PADSTOW
DP: 19247
NSW 2211

REVISION:

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WINDOW & SLIDING DOOR SCHEDULE									
TYPE	MARK	CODE	HEIGHT	WIDTH	STYLE	FRAME TYPE	OBSCURE D GLAZING	GLAZING	GLAZING
GRANNY FLOOR									
W	30	AS 12/18 2	1200	1810	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	31	AS 12/18 2	1200	1810	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
SD	33	ASD 21/24	2100	2410	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	36	AS 10/12	1030	1210	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	37	AS 12/18 2	1200	1810	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	38	AS 03/06	342	610	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	39	AS 08/06	857	610	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
GROUND FLOOR									
W	01	AA 20/18	2035	1810	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	02	AS 06/30	600	3010	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	03	AS 06/08	600	850	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	04	AS 18/08T	1800	850	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	05	AS 18/08T	1800	850	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	06	AS 06/08	600	850	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	07	AS 20/22T	2035	2170	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	08	AFW 07/27	700	2650	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	09	AFW 07/16	700	1570	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
SD	10	ASSD 24/27	2400	2679	STACKING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	40	AS 06/27	600	2650	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
FIRST FLOOR									
W	11	AFW 20/12	2035	1210	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	12	AA 20/18	2035	1810	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	13	AS 12/07	1200	730	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	14	AS 12/08	1200	850	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	15	AS 12/16	1200	1570	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	16	AS 08/24	857	2410	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	17	AS 08/24	857	2410	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	18	AA 06/24	600	2410	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	19	AFW 12/12	1200	1210	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	20	AS 06/27	600	2650	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	21	AA 20/30T (CUSTOM)	2035	3010	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR

DOOR SCHEDULE				
MARK	TYPE	HEIGHT	WIDTH	TO ROOM
GRANNY FLOOR				
25	Internal_Door: 820	2040	820	BED 2
30	Internal_Double_Door: 2 x 620	2040	1240	KITCHEN
31	Internal_Door: 720	2040	720	FAMILY
33	Internal_Door: 820	2040	820	BED 1
34	Internal_Door: 820	2040	820	BATH
GARAGE FLOOR				
01	Garage_Door: 2400 x 4810_PLD	2400	4810	GARAGE
GROUND FLOOR				
02	Entry Door: 1200 *	2340	1200	ENTRY
03	Internal_Door: 920 *	2340	920	GARAGE
04	Cavity_Sliding_Door: 920 CSD *	2340	920	FOYER
05	Internal_Door: 920 *	2340	920	PDR
06	Internal_Door: 720 *	2340	720	FOYER
07	Internal_Double_Door: 2 x 720 *	2340	1440	FOYER
08	Internal_Door: 920 *	2340	920	L'DRY
09	Laundry_Door: 920 * LDR	2340	920	
10	External_Door: 920 *	2340	920	BATH
FIRST FLOOR				
11	Internal_Double_Door: 2 x 820	2040	1640	MASTER SUITE
12	Cavity_Sliding_Door: 720 CSD	2040	720	ENSUITE
13	Cavity_Sliding_Door: 720 CSD	2040	720	ENSUITE
14	Internal_Door: 820	2040	820	WIL
15	Internal_Door: 920	2040	920	BATHROOM
16	Internal_Door: 820	2040	820	BED 2
17	Internal_Door: 820	2040	820	BED 3
18	Internal_Door: 820	2040	820	BED 4
19	Mirror Sliding Doors 2 Panel: 2200 x 1270 MSD	2200	1270	BED 4
35	Internal_Door: 1200	2040	820	BED 5



FOWLER
YOUR HOME. OUR PASSION.

DESIGN NAME:	FACADE NAME:
BROOKLY 37 - DISPLAY PACKAGE:	ESPLANADE (NO BALCONY) JOB NO:
PRESTIGE	25-1048

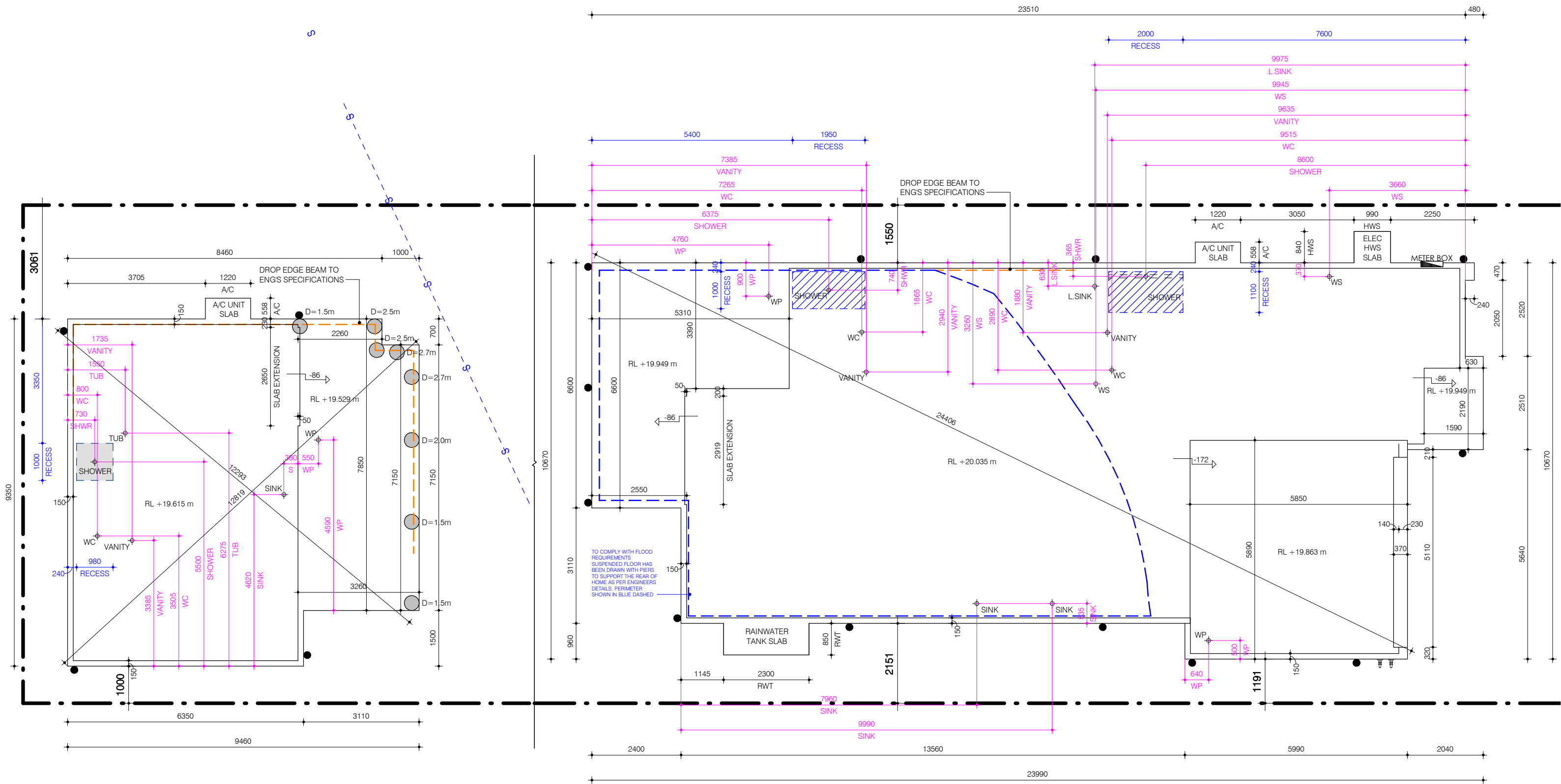
WINDOWS & DOORS SCHEDULES	
SCALE: @ A3	
DATE: 03.07.26	SHEET NO: 015

CLIENT'S NAME:	
MR. SON LE HOANG	
MRS. YOUNG SOOK MOON	
SIGNATURE: _____	DATE: _____
I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.	

SITE ADDRESS:	
LOT: 18	DP: 19247
91 WINDSOR ROAD	
PADSTOW	NSW 2211

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'H1' SLAB CLASSIFICATION

NOTES:
-ALL REBATES TO BE 150mm WIDE U.N.O
-GARAGE REBATES TO BE 370mm
WIDE x 15mm RECESS. REFER TO
ENGINEER'S DETAILS.
-ALL DIMENSIONS ARE TAKEN FROM
EXTERNAL FACE OF BRICKWORK.
-REFER TO WET AREA DETAIL FLOOR
PLANS FOR SERVICE LOCATIONS.

**32 MPa CONCRETE T PIERS &
SLAB INCLUDING 0.3 HIGH
IMPACT RESISTANCE VAPOUR
BARRIER AS REQUIRED**



DESIGN NAME:
BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:
ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

CONCRETE SLAB PLAN

SCALE: 1 : 100 @ A3

DATE: 03.07.26

SHEET NO: 016

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON

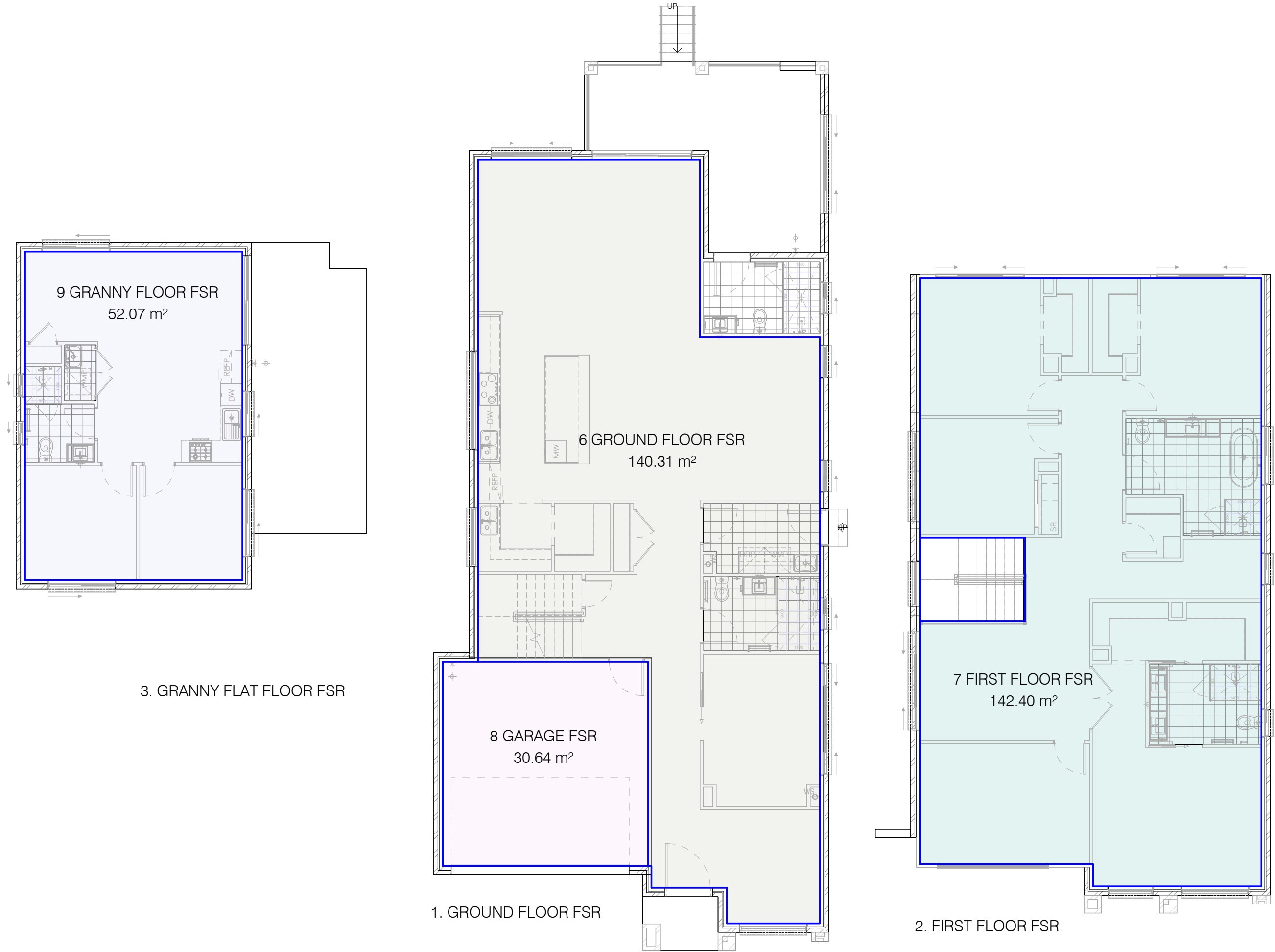
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LOT: 18
91 WINDSOR ROAD
PADSTOW

DP: 19247
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FLOOR SPACE AREA	
NAME	AREA
GROUND FLOOR FSR	140.31 m²
GRANNY FLOOR FSR	52.07 m²
GARAGE FSR	30.64 m²
FIRST FLOOR FSR	142.40 m²
TOTAL	365.42 m²

COLOUR SCHEME	
	GROUND FLOOR FSR
	GARAGE FSR
	GRANNY FLOOR FSR
	FIRST FLOOR FSR



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DESIGN NAME: BROOKLY 37 -
DISPLAY PACKAGE:
PRESTIGE

FACADE NAME: ESPLANADE (NO
BALCONY)
JOB NO: 25-1048

FLOOR SPACE RATIO PLAN

SCALE: 1 : 100 @ A3

DATE: 03.07.26

SHEET NO: 017

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON

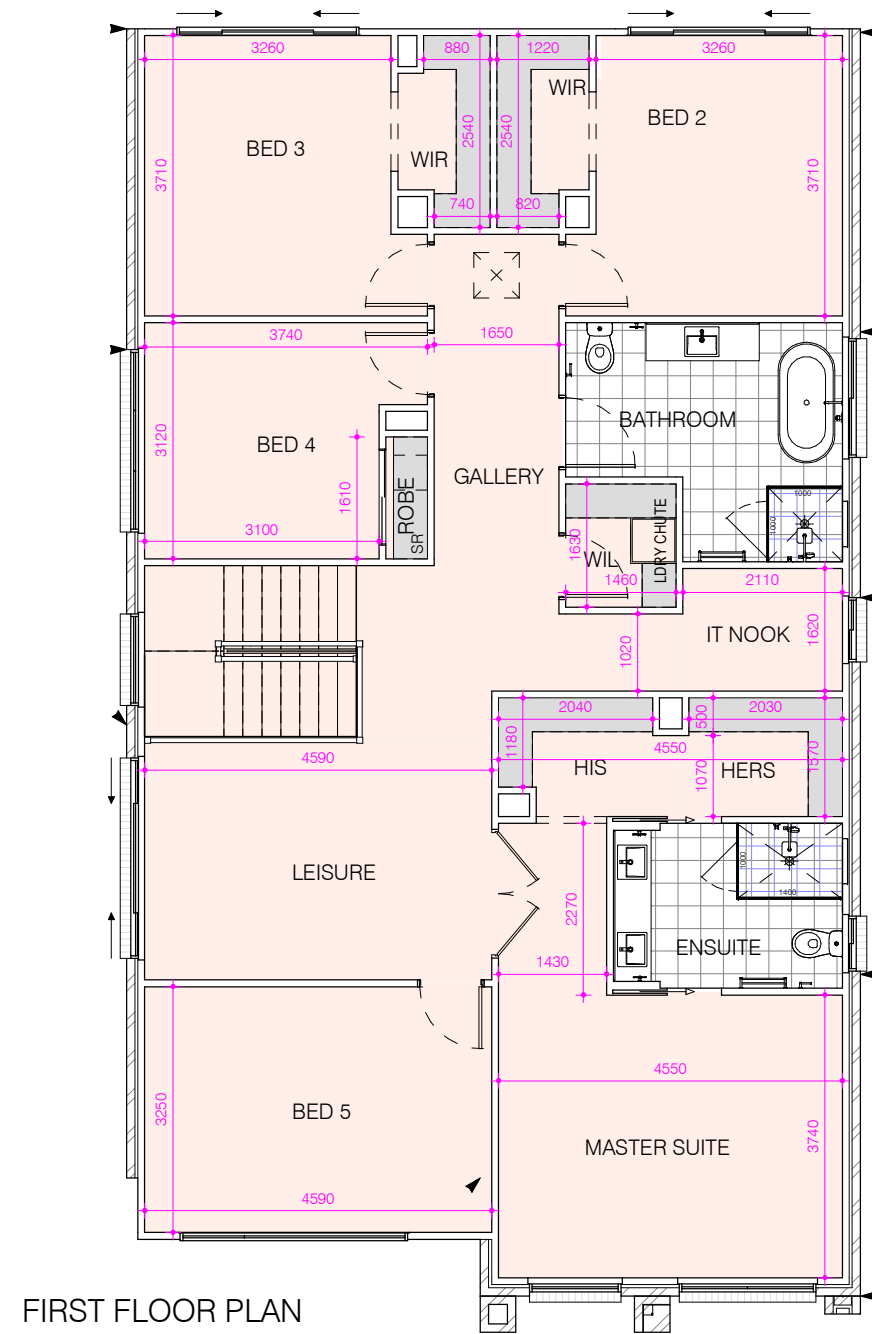
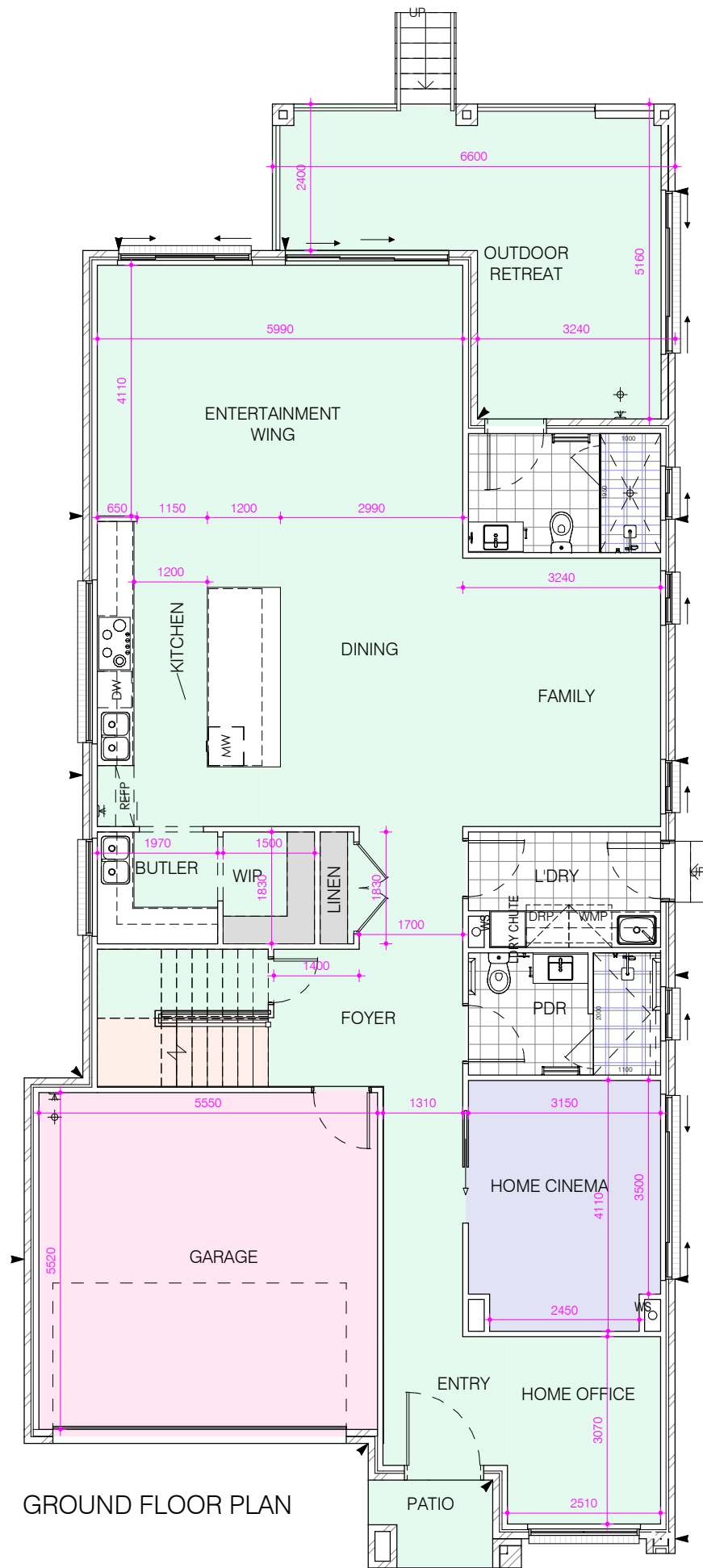
SIGNATURE: _____ DATE: _____

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PROVIDE SAND & CEMENT
SCREEDED BED TO MAIN
FLOOR, OUTDOOR RETREAT &
PATIO FOR A 40mm FINISH

PROVIDE ALPHA FLOORING

FLOOR COVERINGS

- CARPET
- EPOXY
- LAMINATE
- TILES



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DESIGN NAME:
BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:
ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

FLOOR COVERING PLAN
SCALE: 1 : 100 @ A3

DATE:
03.07.26

SHEET NO:
018

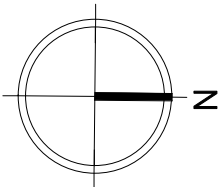
CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: _____ DATE: _____

SITE ADDRESS:
LOT: 18
91 WINDSOR ROAD
PADSTOW

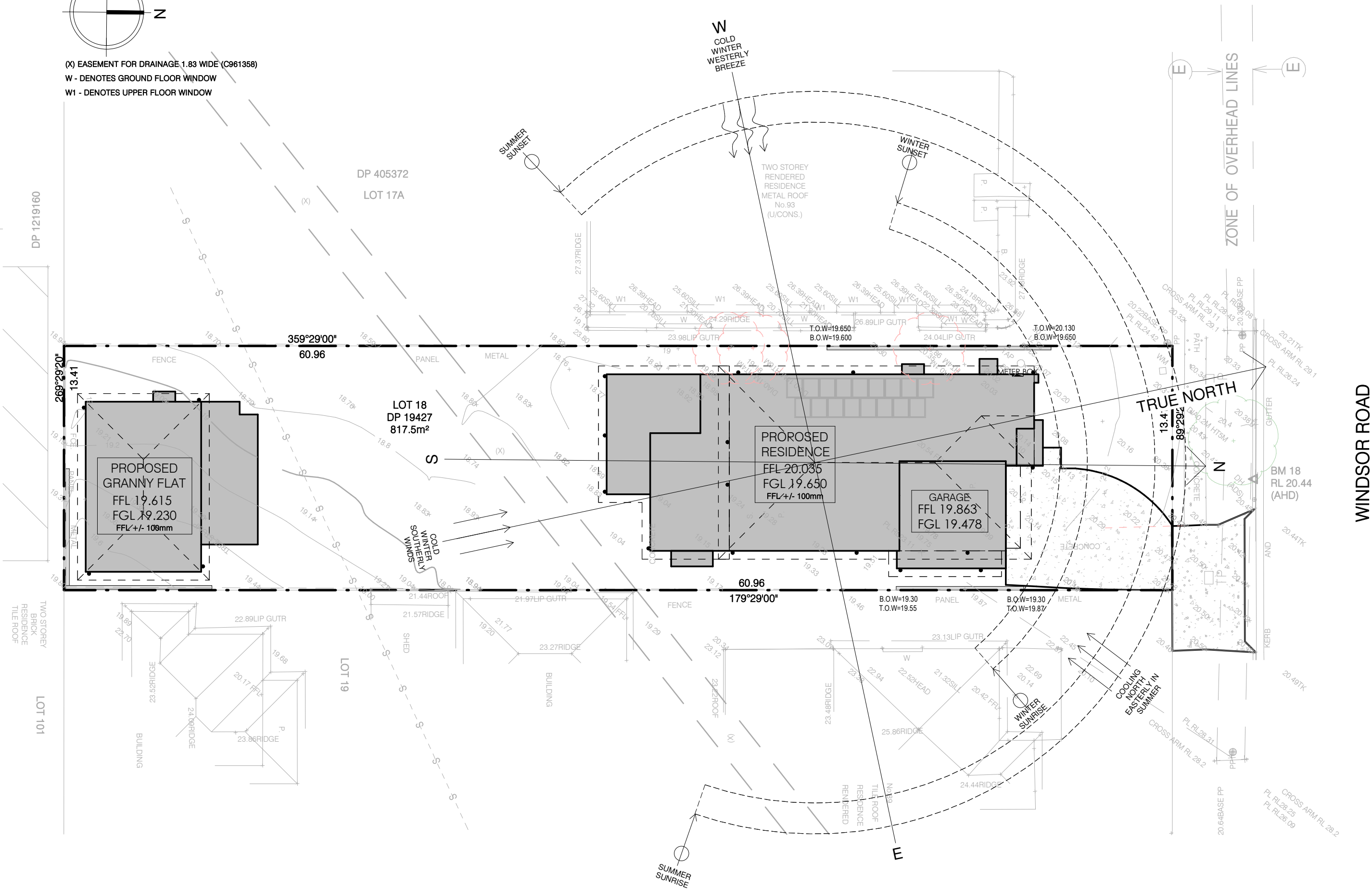
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(X) EASEMENT FOR DRAINAGE 1.83 WIDE (C961358)
W - DENOTES GROUND FLOOR WINDOW
W1 - DENOTES UPPER FLOOR WINDOW



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DESIGN NAME:

BROOKLY 37 -
DISPLAY
PACKAGE:

PRESTIGE

FACADE NAME:

ESPLANADE (NO
BALCONY)
JOB NO:

25-1048

SITE ANALYSIS

SCALE: 1 : 200 @ A3

DATE:

03.07.26

SHEET NO:

020

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE:

DATE:

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DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:

LOT: 18

91 WINDSOR ROAD

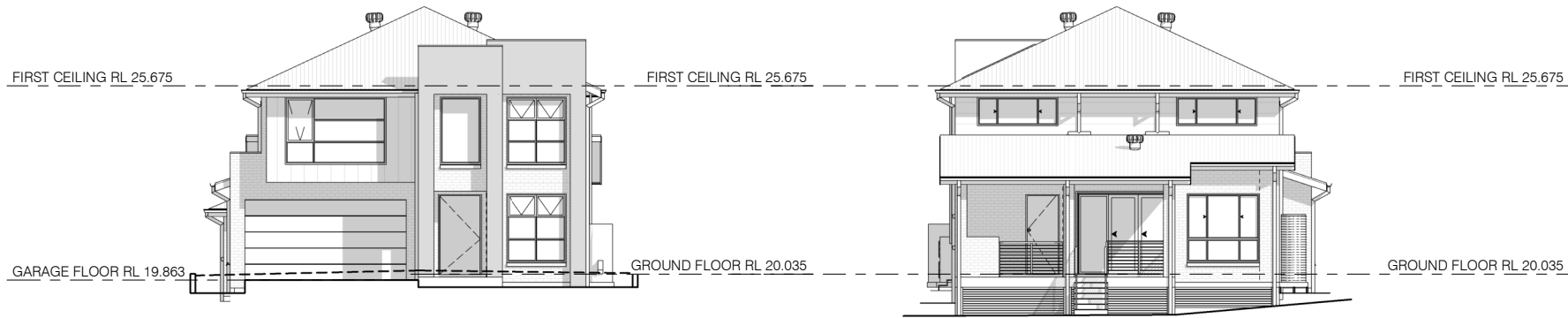
PADSTOW

DP: 19247

NSW 2211

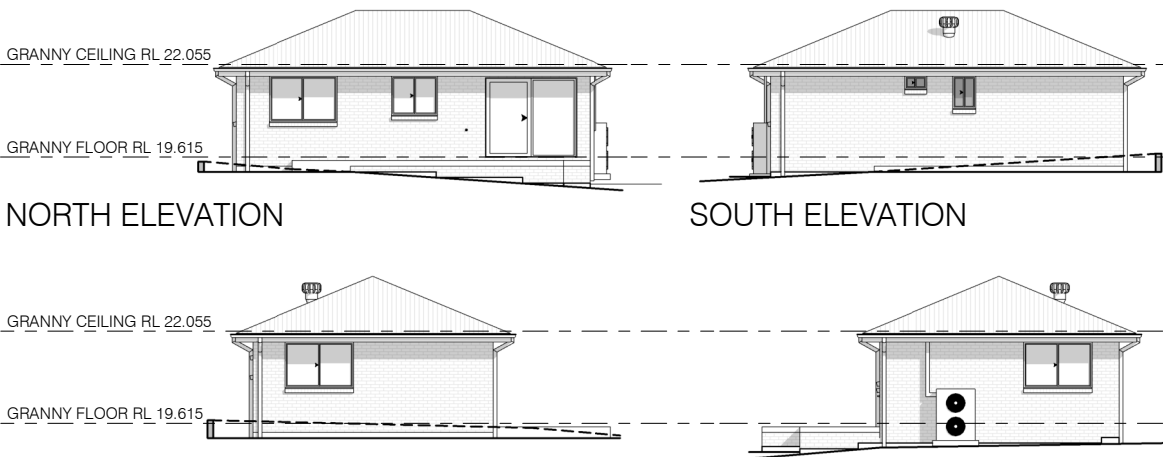
REVISION:

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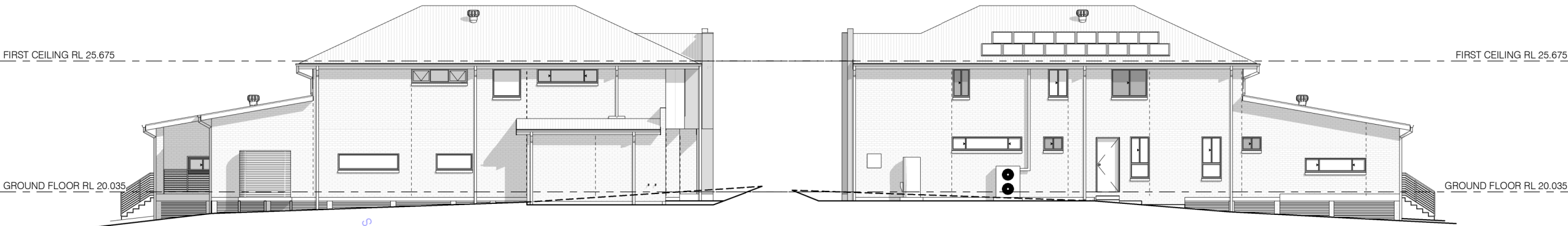
NORTH ELEVATION

SOUTH ELEVATION



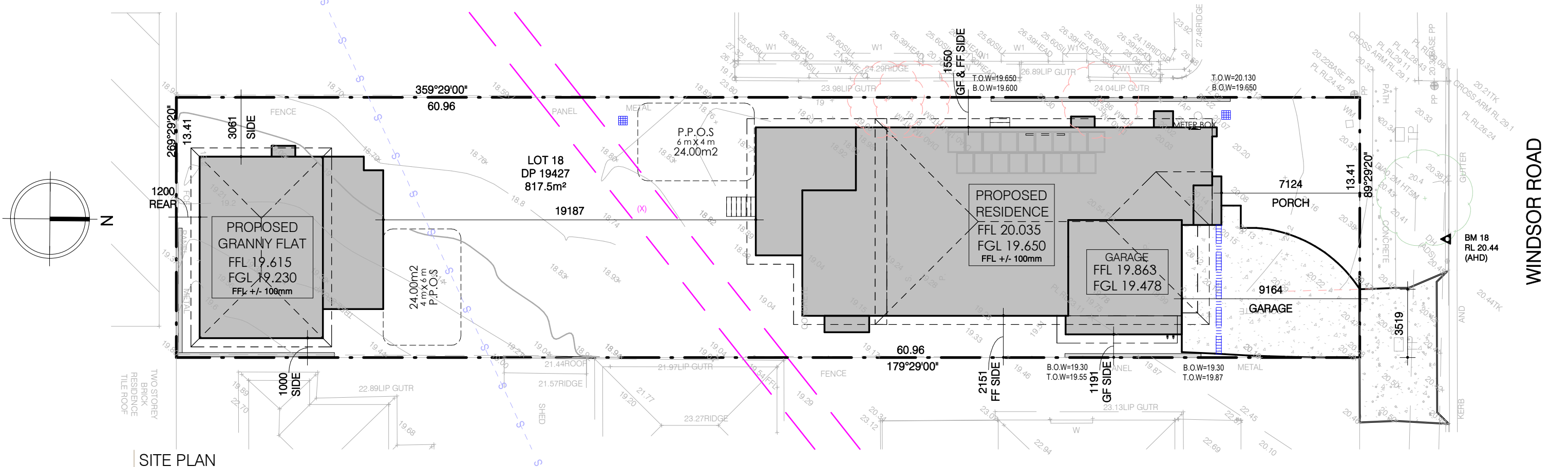
EAST ELEVATION

WEST ELEVATION



EAST ELEVATION

WEST ELEVATION



SITE PLAN

1 : 200



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DESIGN NAME:

BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:

ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

NOTIFICATION PLAN

SCALE: 1 : 200 @ A3

DATE:

03.07.26

SHEET NO:

021

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE:

DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:

LOT: 18

91 WINDSOR ROAD

PADSTOW

DP: 19247

NSW 2211

REVISION:

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